

Commercial Development

253 Coward Street

Architecture S4.55 Modification

Architecture Drawing List

Layout ID	Layout Name	Drawing Scale
1200	Site Plan	1:500
2000	Level 00 Ground Floor Plan - Mixed Use	1:250
2001	Level 01 Floor Plan - Carpark	1:250
2002	Level 02 Floor Plan - Carpark	1:250
2003	Level 03 Floor Plan - Carpark	1:250
2004	Level 04 & 09 Floor Plan - Commercial	1:250
2010	Level 10 Floor Plan - Plant/Terrace	1:250
2011	Level 11 Floor Plan - Roof	1:250
2800	GFA Plans	1:500
3000	Elevations - Sheet 1	1:250
3001	Elevations - Sheet 2	1:250
3002	Elevation - Entry Detailed	1:100
3004	Entry Detailed - View 2	
3005	Entry Detailed - View 3	
3006	Entry Detailed - View 4	
3007	Entry Detailed - View 5	
3008	Entry Detailed - View 6	
4000	Sections - Sheet 1	
9000	Development Schedule	
9001	Digital Materials Board	
9002	CGI - Corner of Coward Street and Kent Road	
9003	CGI - Kent Road	
9004	Tenant Void Options	1:500





General notes

- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
- All levels relative to 'Australian Height Datum'.
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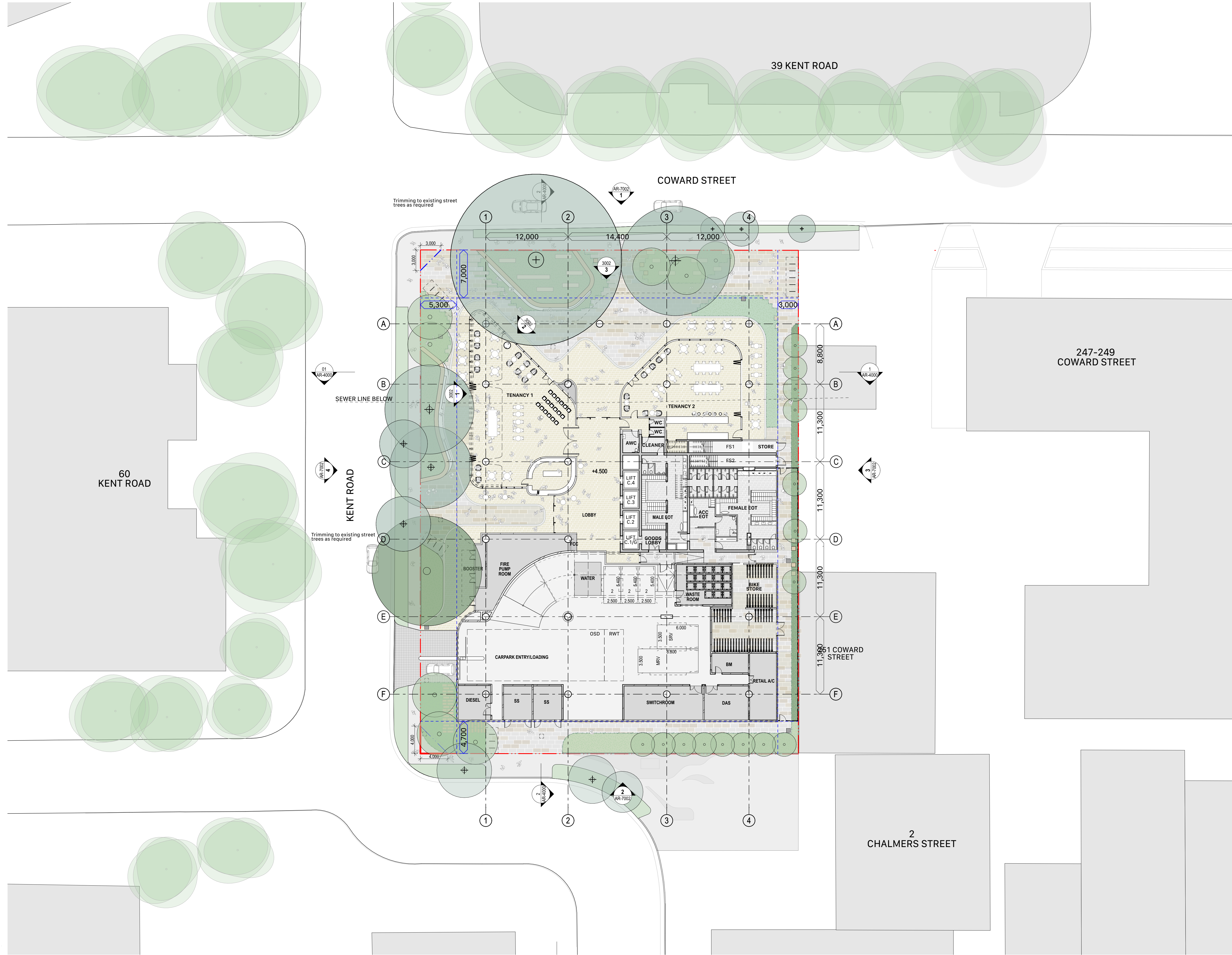
Legend

- BOUNDARY
- SETBACKS

- General notes**
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Legend

- BOUNDARY
--- SETBACKS



07	18/12/2023	For Approval	AR
06	29/02/2023	For Approval	AR
05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR
02	2/12/2022	Issued for Review	AR

Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

GA Floor Plans
Level 00 Ground Floor Plan - Mixed Use
Scale: 1:250 @ A1

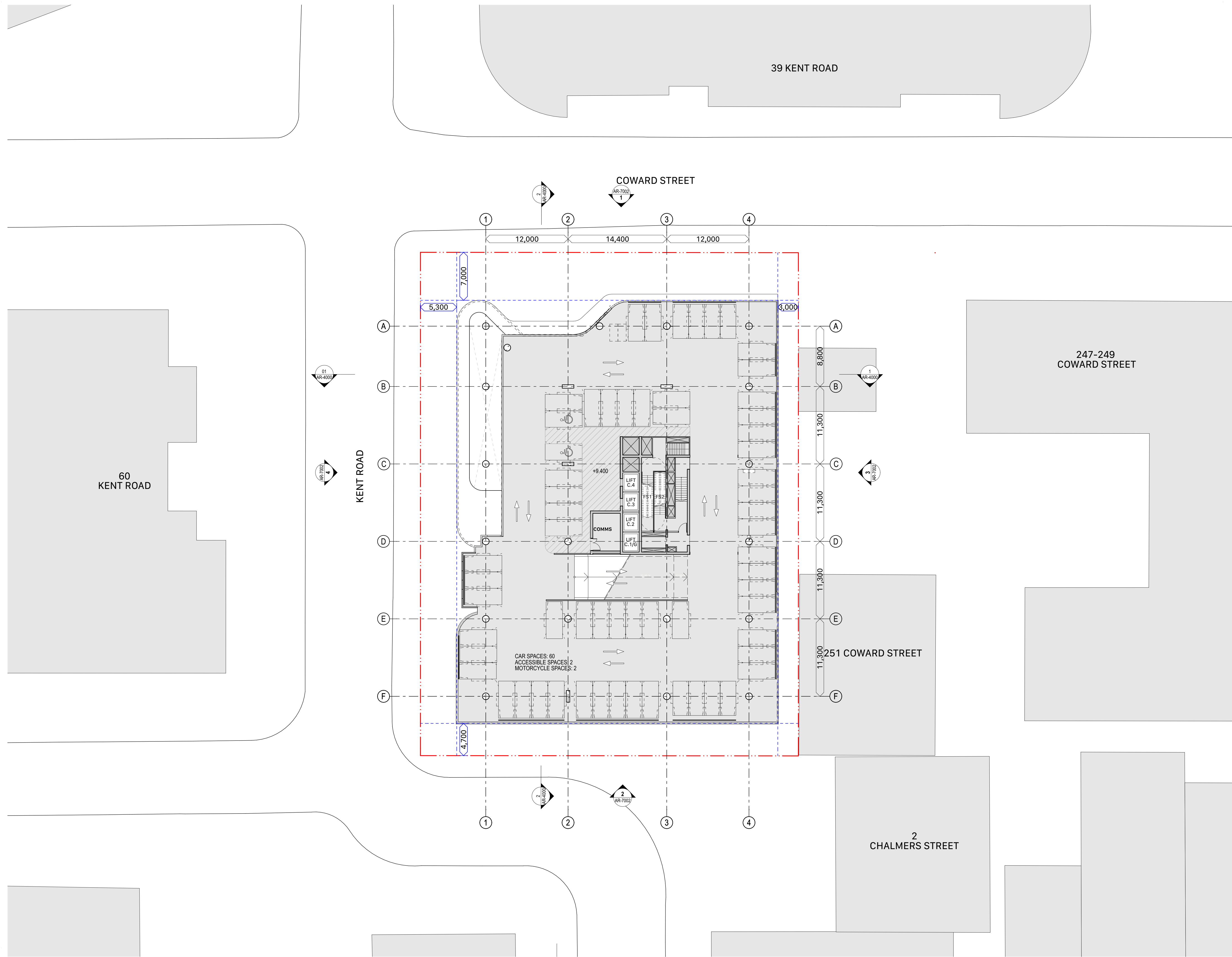
Project Code
TPM
First Issued
2/12/2022

Sheet No.
2000
Rev
07

- General notes**
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Legend

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07	18/12/2023	For Approval	AR
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05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR
02	2/12/2022	Issued for Review	AR

Rev	Date	Description	By	Chk
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Coward St Mascot
 253 Coward Street
 Mascot NSW 2020

GA Floor Plans Scale
 Level 01 Floor Plan - Carpark 1:250 @ A1

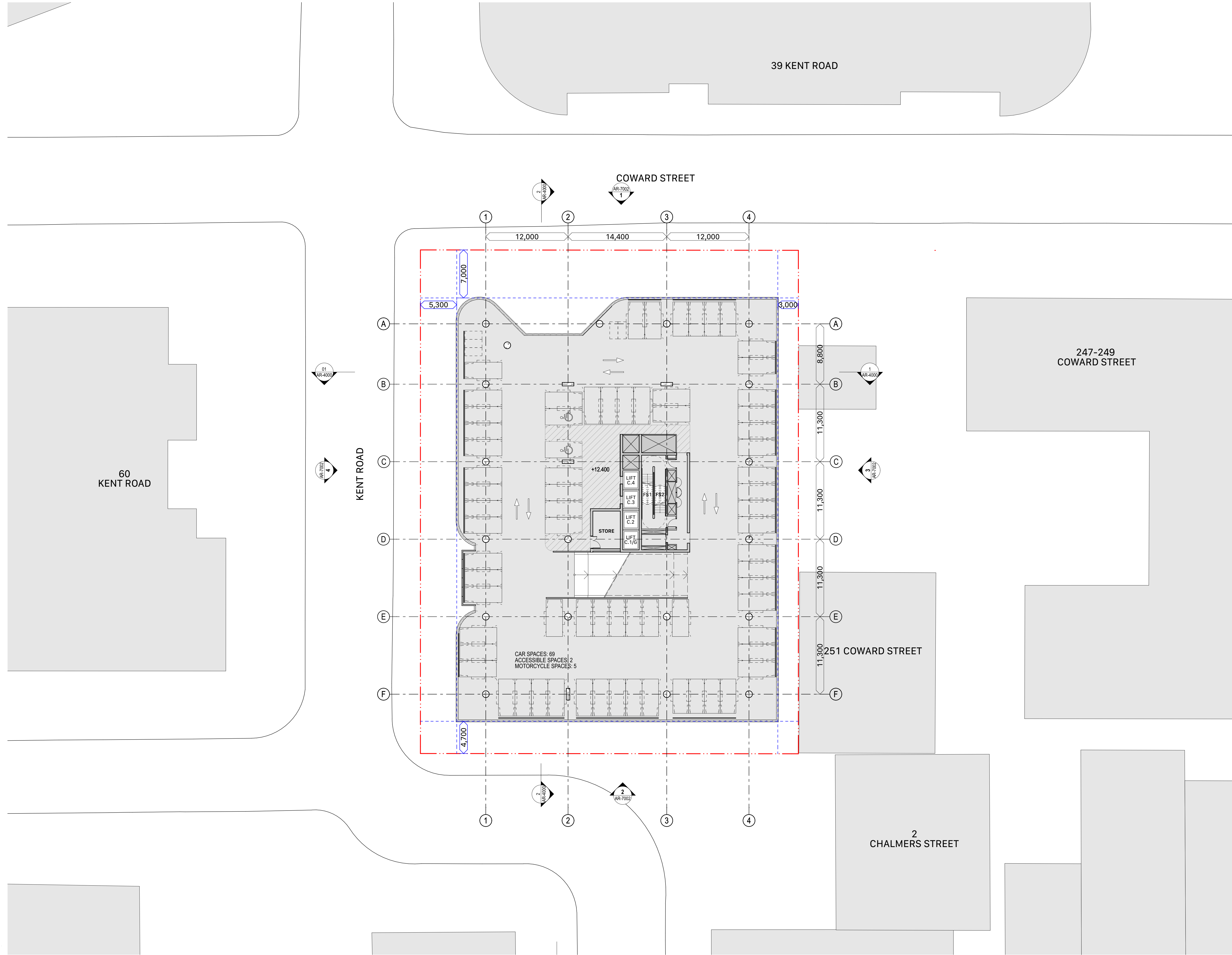
Project Code First Issued
 TPM 2/12/2022

Sheet No. Rev
 2001 07

- General notes**
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- BOUNDARY
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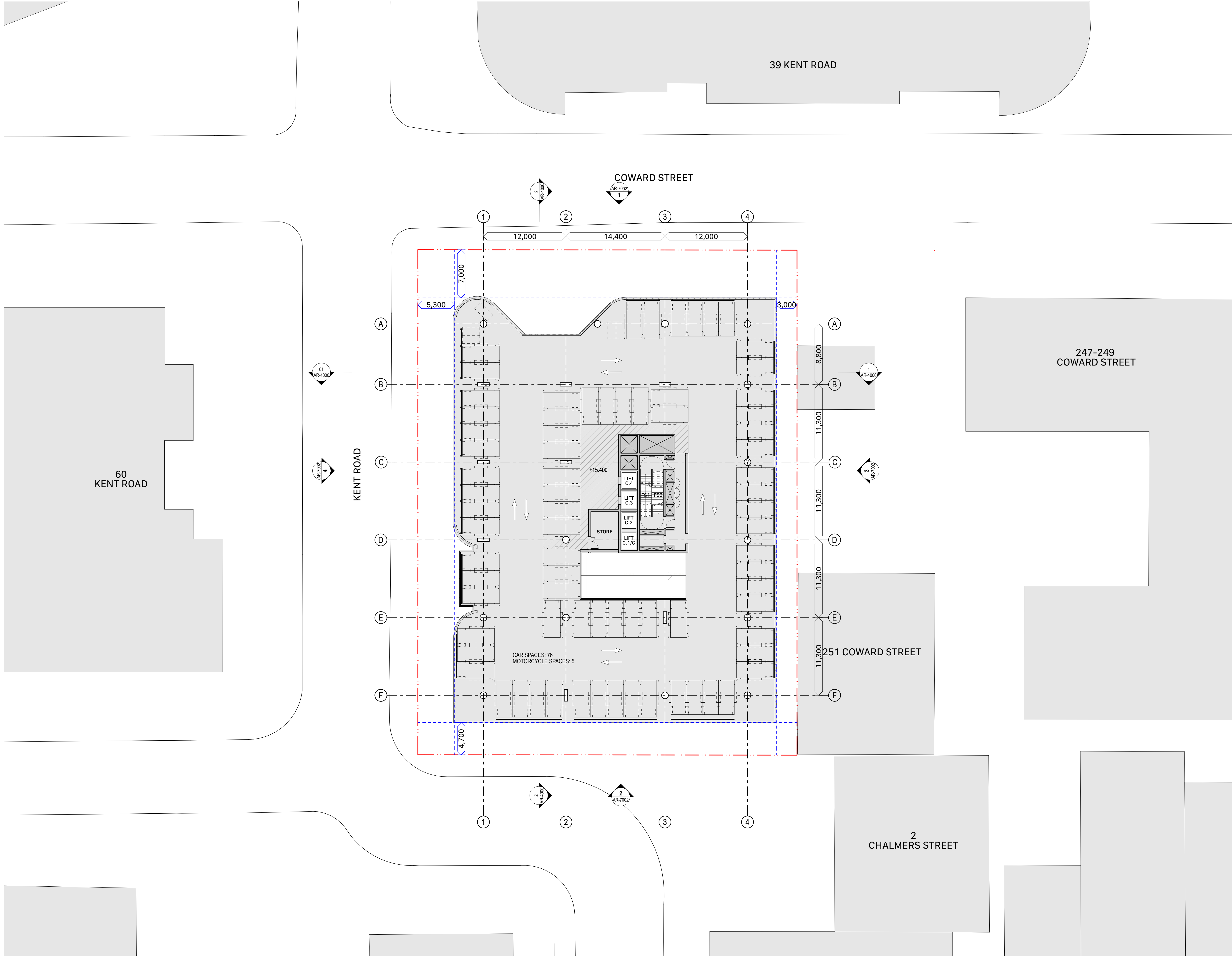
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06	29/8/2023	For Approval	AR
05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR
02	2/12/2022	Issued for Review	AR

Rev	Date	Description	By	Chk
Coward St Mascot 253 Coward Street Mascot NSW 2020				
GA Floor Plans Level 02 Floor Plan - Carpark			Scale 1:250 @ A1	
Project Code TPM			First Issued 2/12/2022	
Sheet No. 2002			Rev 07	

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05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR
02	2/12/2022	Issued for Review	AR

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Coward St Mascot
253 Coward Street
Mascot NSW 2020

GA Floor Plans **Scale**
Level 03 Floor Plan - Carpark 1:250 @ A1

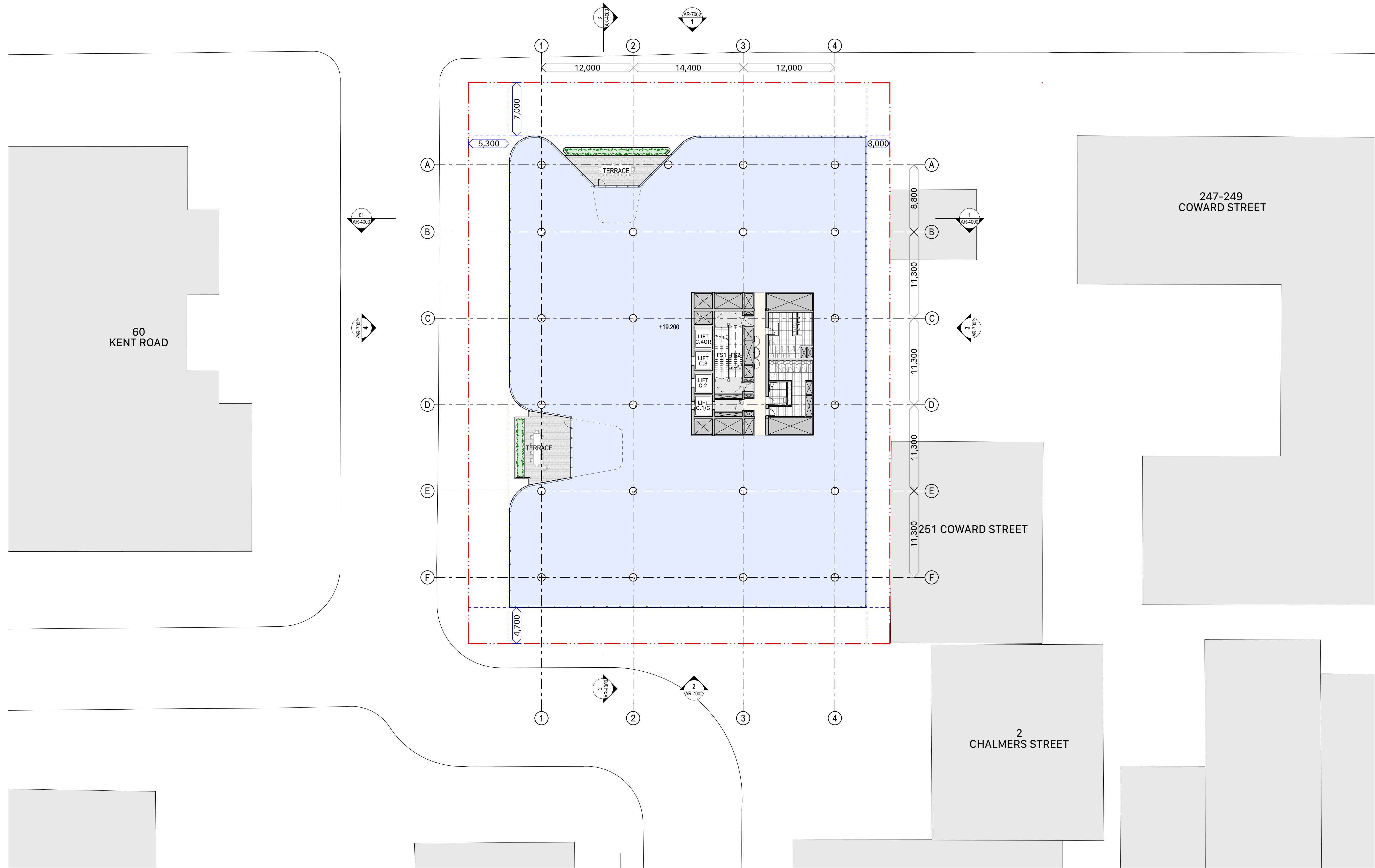
Project Code **First Issued**
TPM 2/12/2022

Sheet No. **Rev**
2003 07

- General notes**
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Legend

- BOUNDARY
 --- SETBACKS



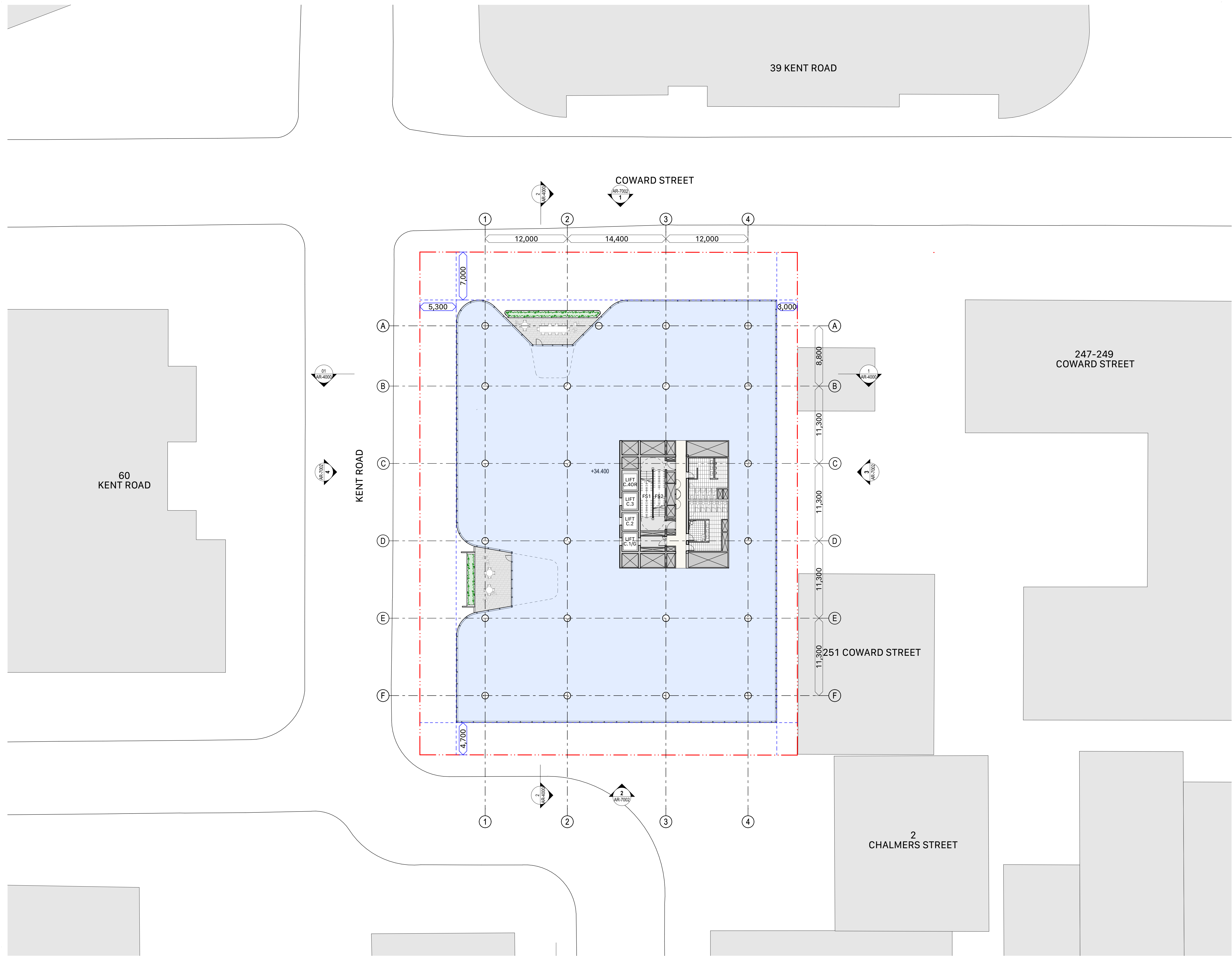
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06	29/6/2023	For Approval	AR
05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR
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Coward St Mascot 253 Coward Street Mascot NSW 2020				
GA Floor Plans Level 04 & 09 Floor Plan - Commercial			Scale 1:250 @ A1	
Project Code TPM			First Issued 2/12/2022	
Sheet No. 2004			Rev 07	

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Legend

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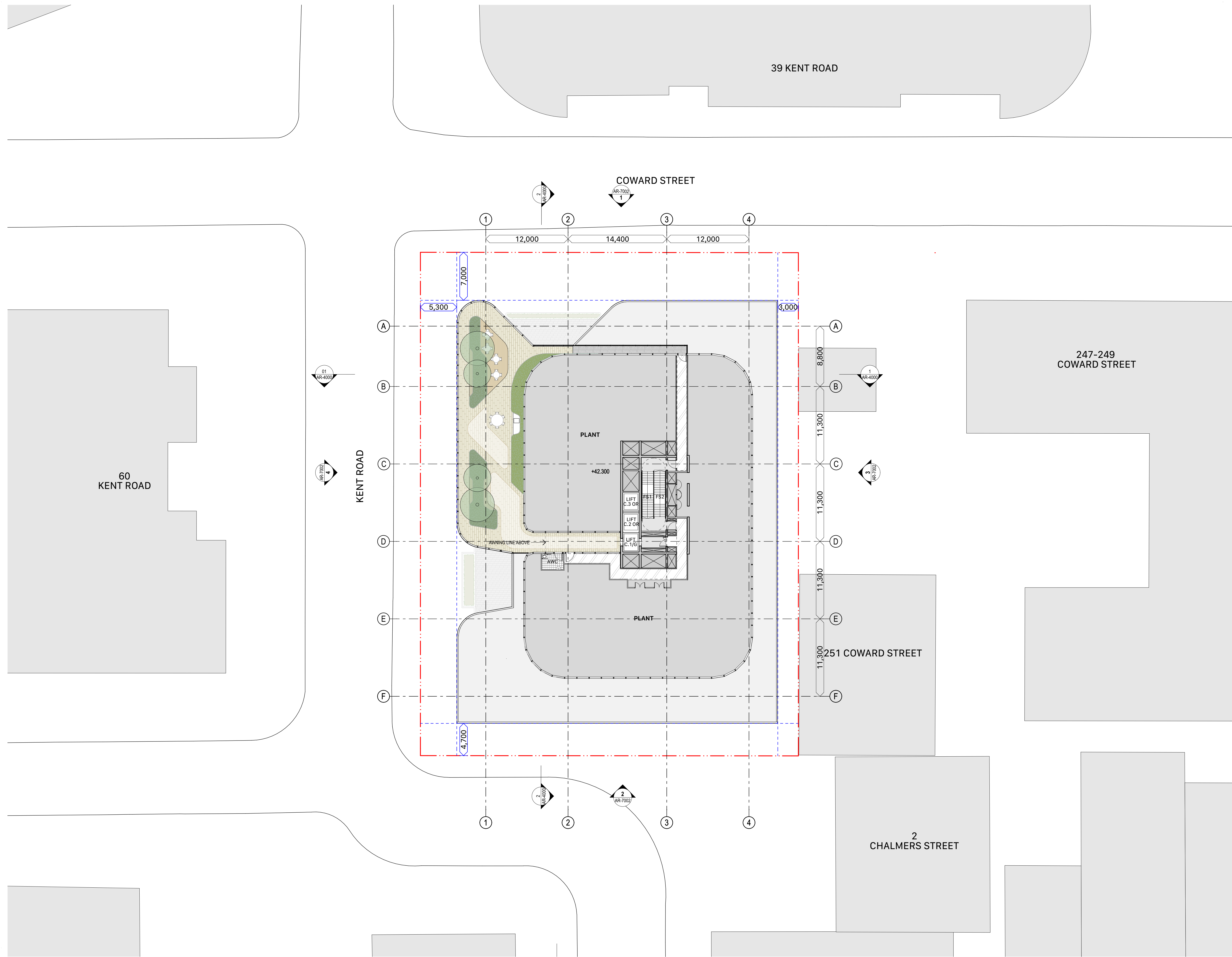
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06	29/6/2023	For Approval	AR
05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR
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Rev	Date	Description	By	Chk
Coward St Mascot 253 Coward Street Mascot NSW 2020				
GA Floor Plans Level 05-08 Floor Plan - Typical Commercial			Scale 1:250 @ A1	
Project Code TPM			First Issued 2/12/2022	
Sheet No. 2008			Rev 07	

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Legend

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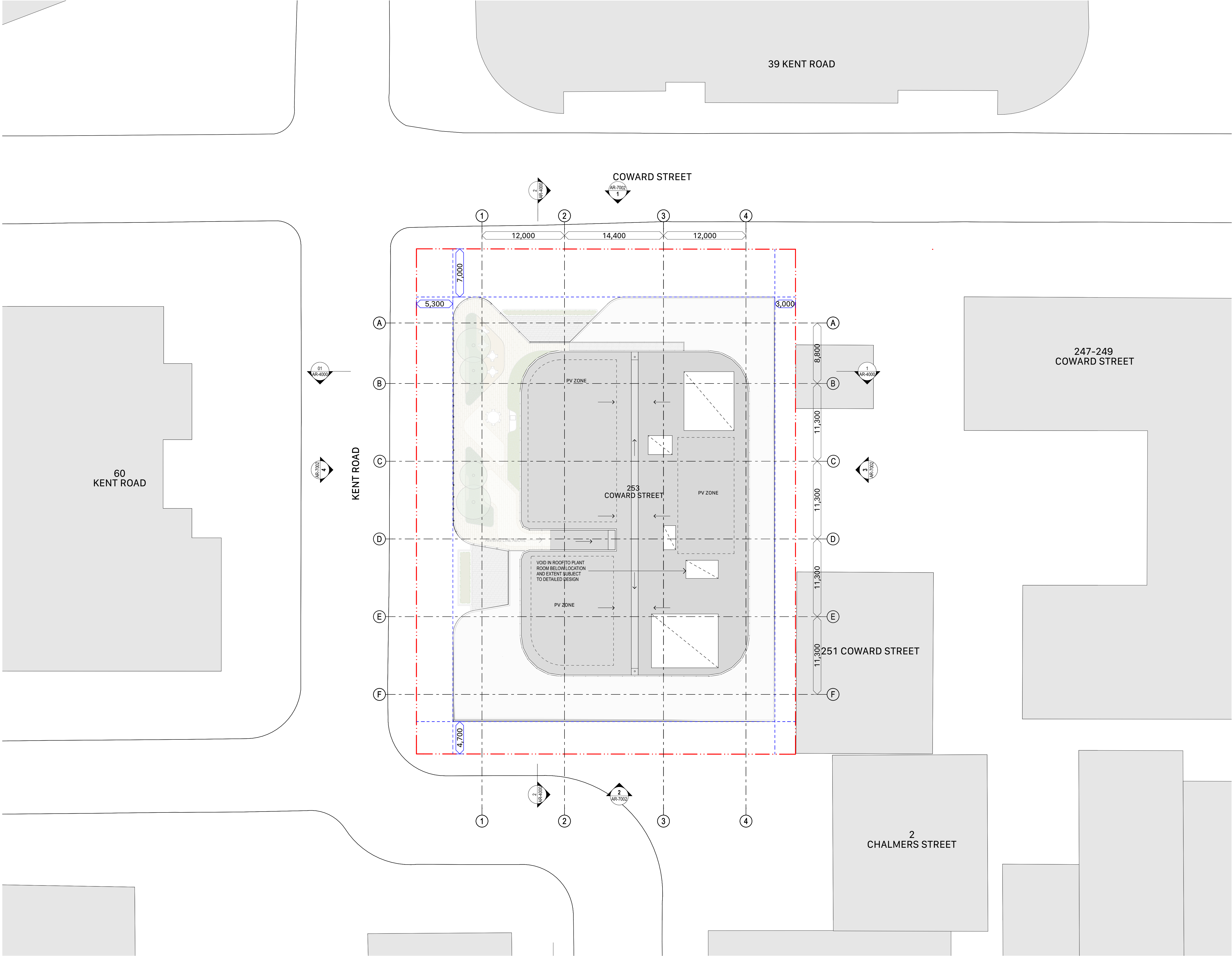
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06	29/6/2023	For Approval	AR
05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR
02	2/12/2022	Issued for Review	AR

Rev	Date	Description	By	Chk
Coward St Mascot				
253 Coward Street				
Mascot NSW 2020				
GA Floor Plans				Scale
Level 10 Floor Plan - Plant/Terrace				1:250 @ A1
Project Code				First Issued
TPM				2/12/2022
Sheet No.				Rev
2010				07

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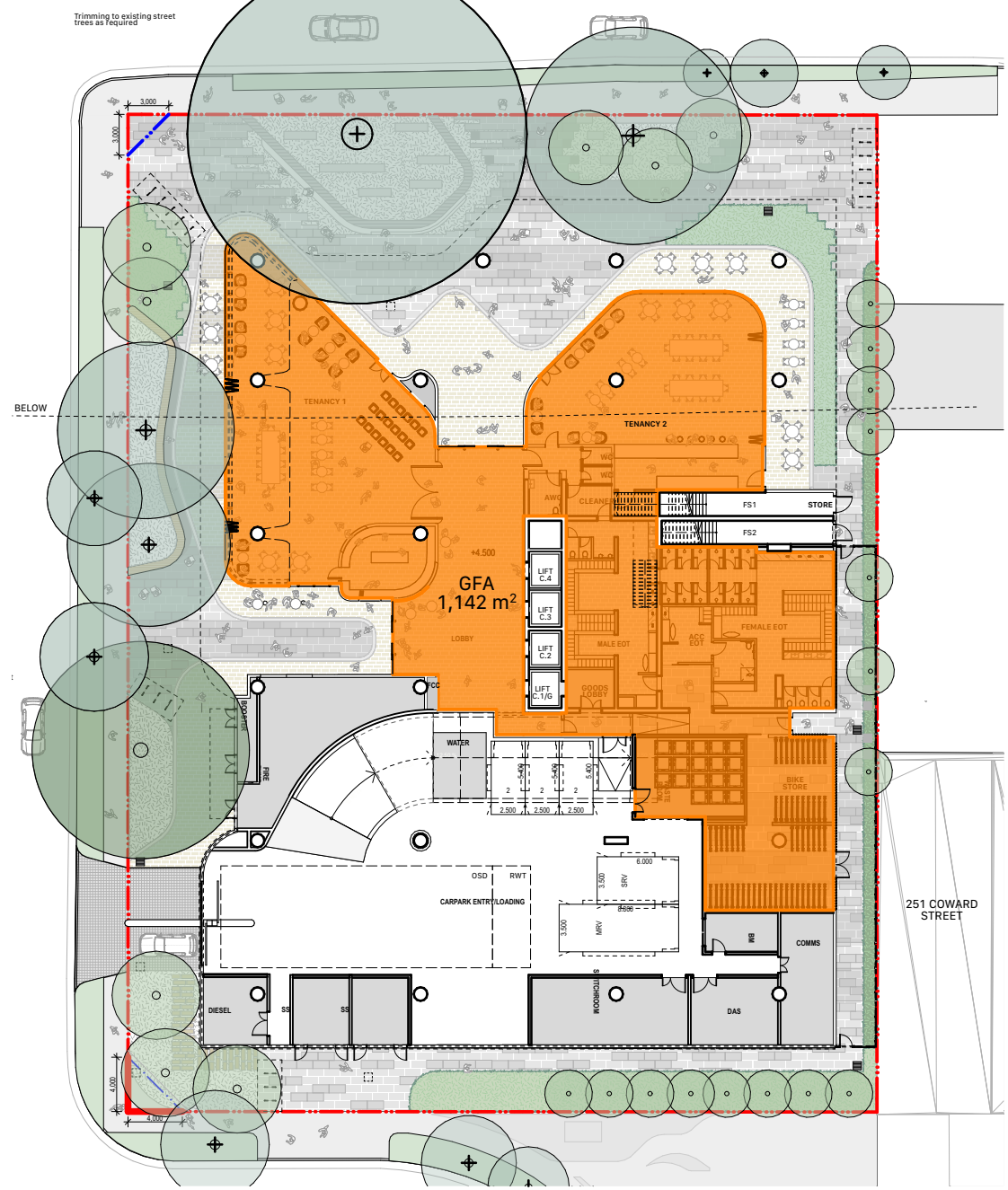
Legend

- BOUNDARY
 --- SETBACKS

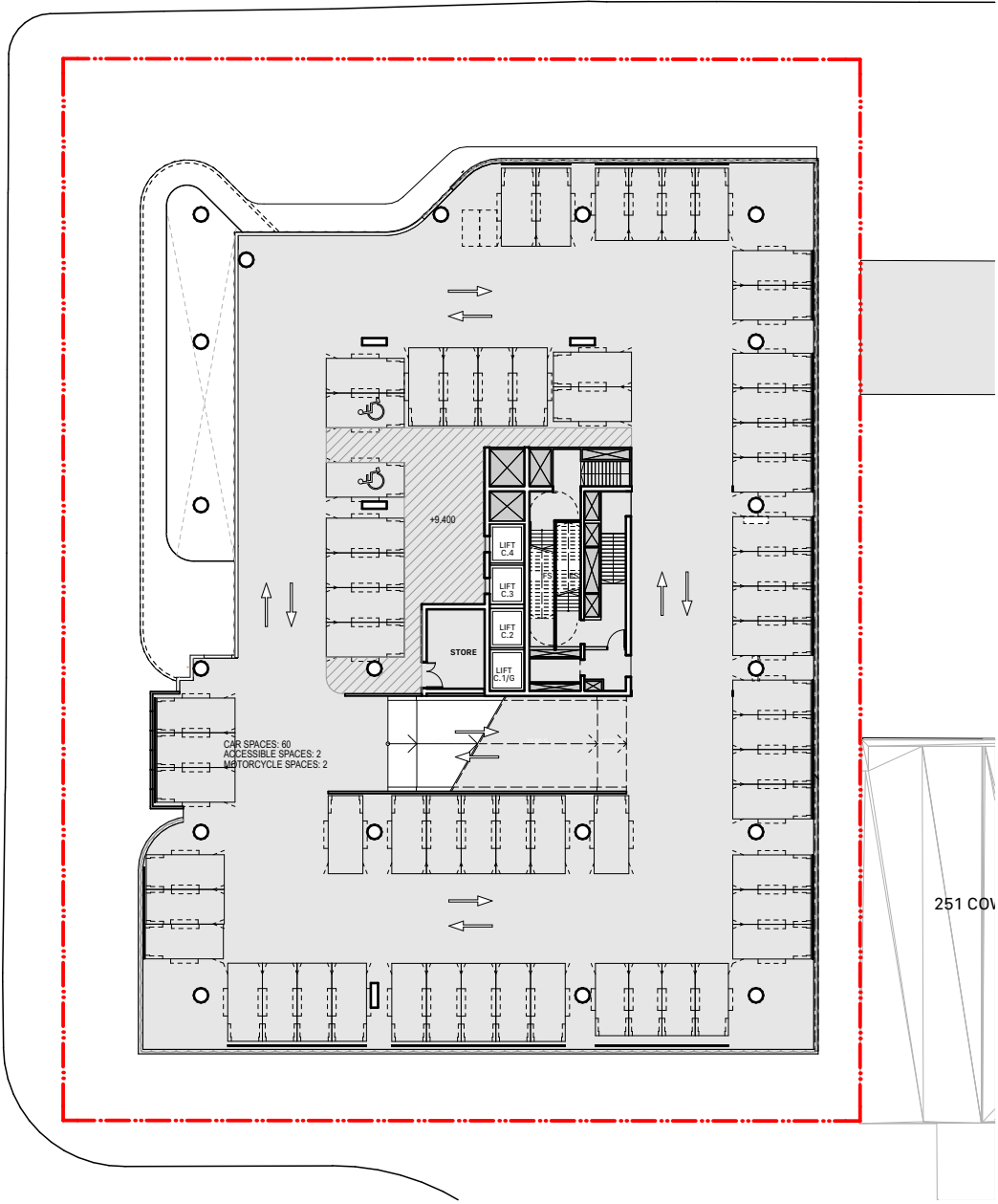


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05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR
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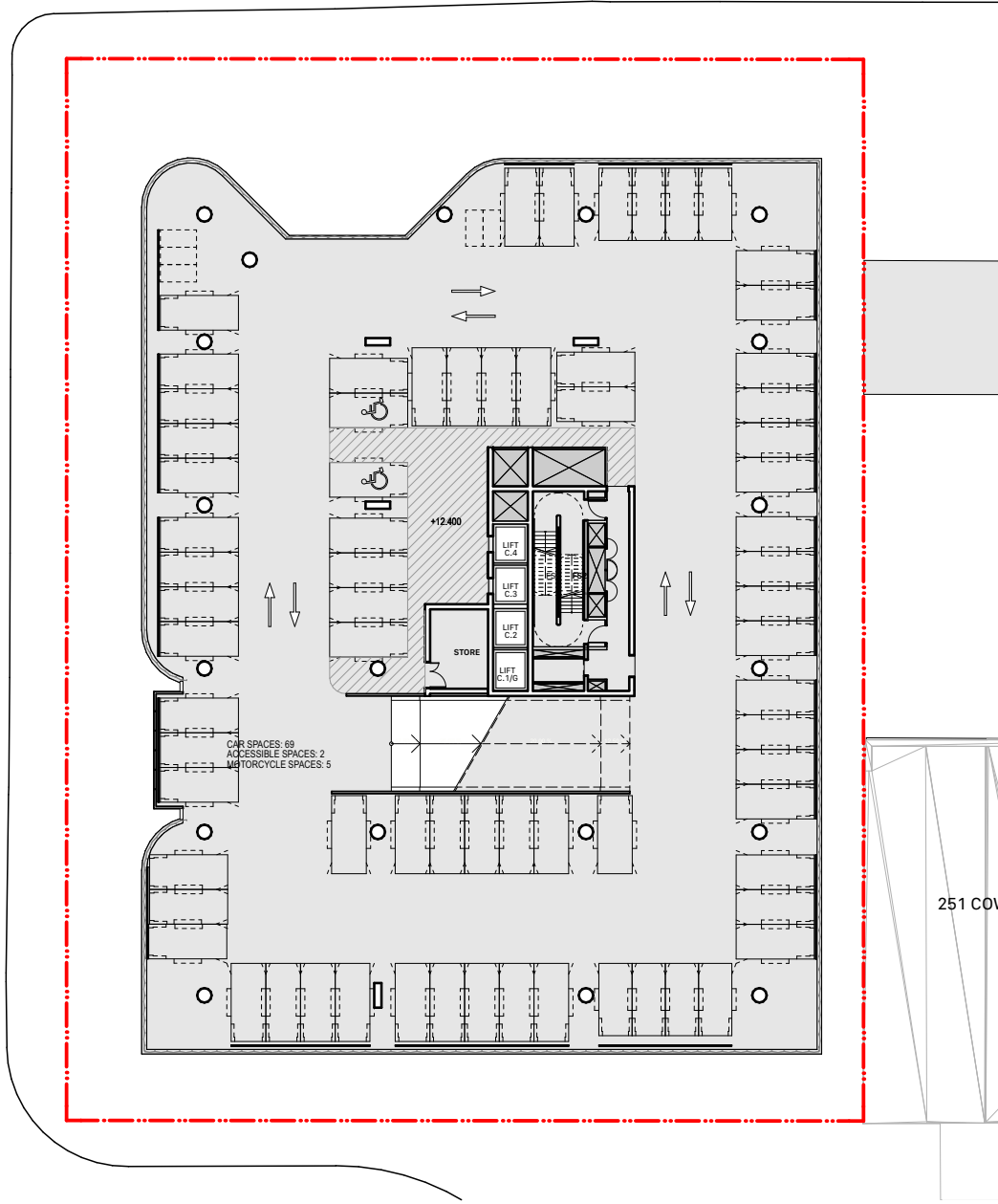
Rev	Date	Description	By	Chk
Coward St Mascot 253 Coward Street Mascot NSW 2020				
GA Floor Plans Level 11 Floor Plan – Roof			Scale 1:250 @ A1	
Project Code TPM			First Issued 2/12/2022	
Sheet No. 2011			Rev 07	



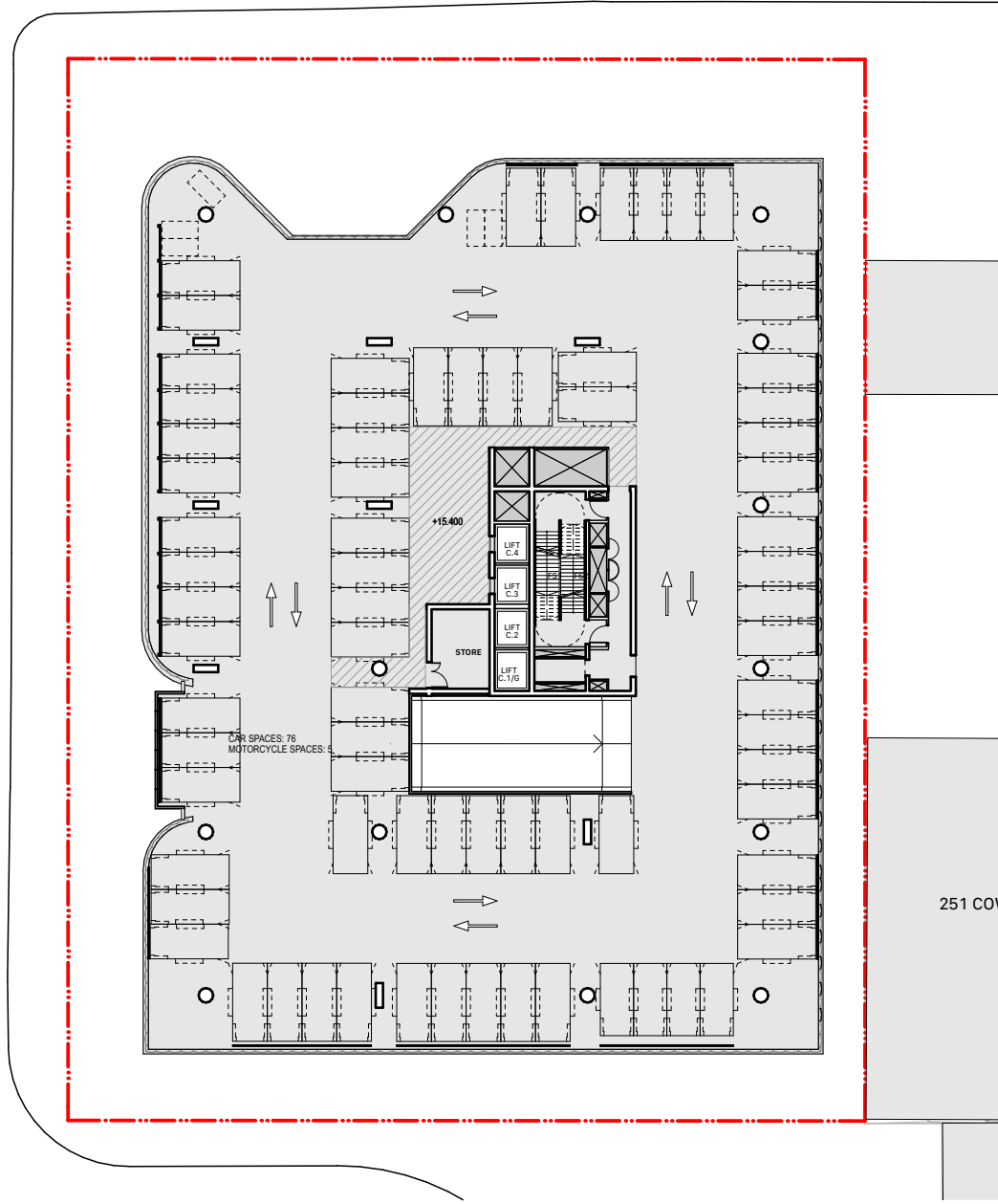
1 PLAN GFA - GROUND FLOOR
1:500



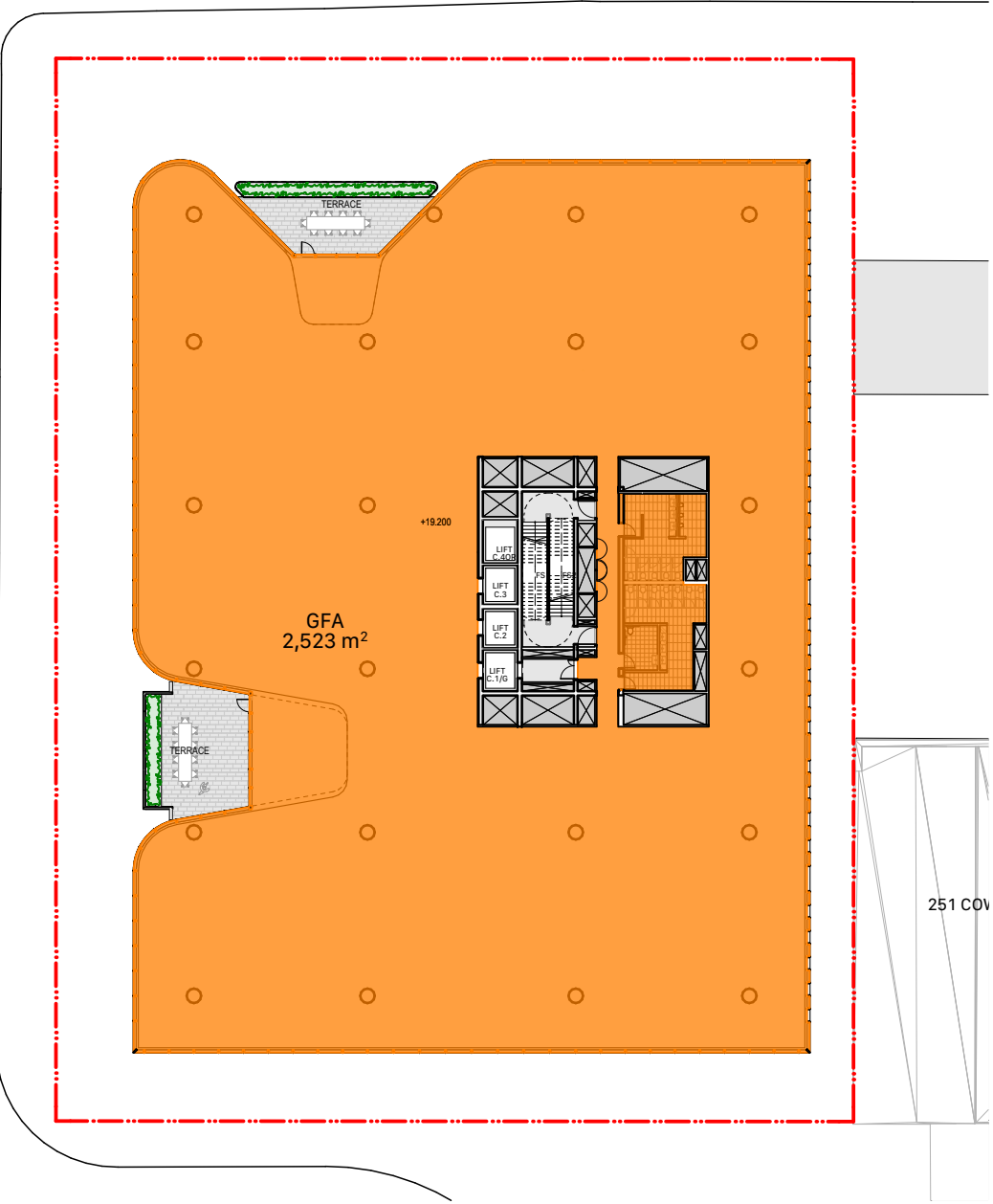
2 PLAN GFA - LEVEL 01
1:500



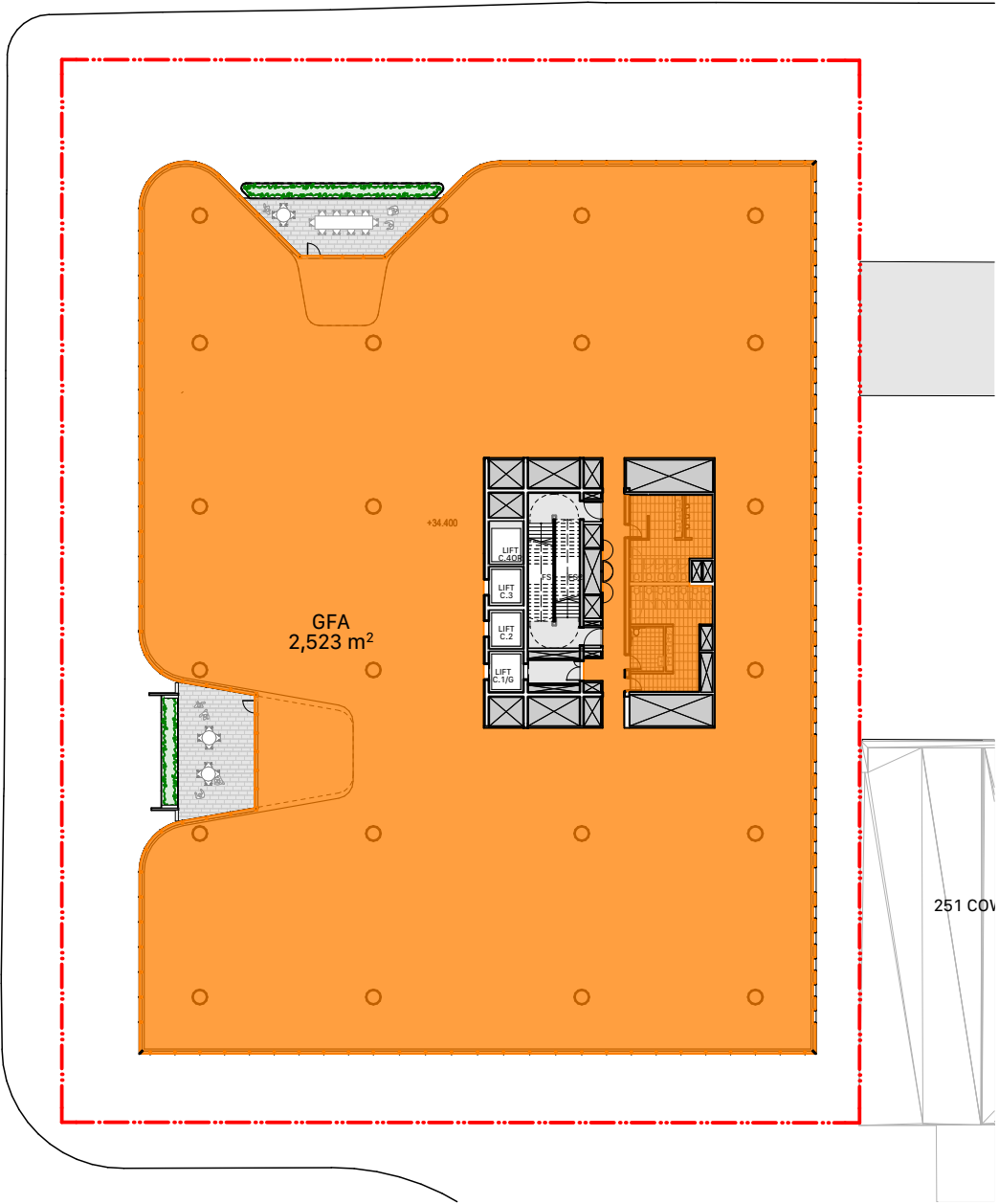
3 PLAN GFA - LEVEL 02
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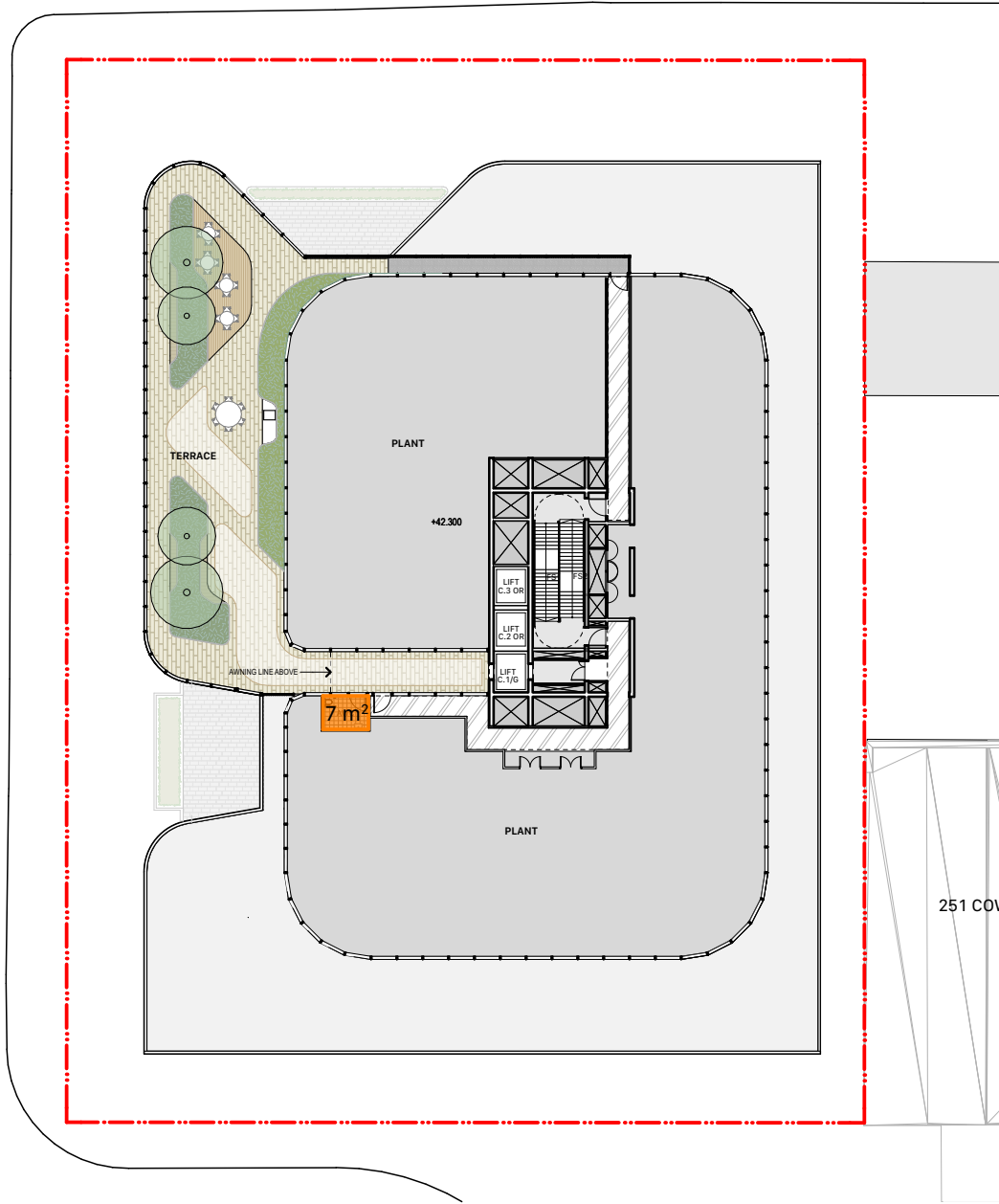
4 PLAN GFA - LEVEL 03
1:500



5 PLAN GFA - LEVEL 04 & 09
1:500



6 PLAN GFA - LEVEL 05-08
1:500



7 PLAN GFA - LEVEL 10 TERRACE / PLANT
1:500



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Legend

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Coward St Mascot
253 Coward Street
Mascot NSW 2020

GFA Plans	Scale
GFA Plans	1:500 @ A1

Project Code	First Issued
TPM	2/12/2022

Sheet No.	Rev
2800	07

- General notes**
- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
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Legend

--- BOUNDARY

--- SETBACKS

Facade Descriptions
See 9001 Digital Sample Board for colours

FT-1 Commercial Glazing - Typical
DGU with profiled aluminium spandrel. Nom. 1800mm wide panels

FT-1a Commercial Glazing - Solid
To match Commercial Glazing - Typical with solid aluminium panel instead of DGU. Widths vary.

FT-2 Terrace Glazing
DGU with aluminium grille over. Nom. 1800mm wide panels

FT-3 Terrace Planters
Powdercoated aluminium clad

FT-4 Carpark
Mesh screening system. Approx 50% transparent.

FT-4a Lobby Entry Wall
Powdercoated aluminium cladding

FT-5 West Terrace
Perforated metal panel. Approx 50% transparent.

FT-6a Plant - Louvre
Powdercoated proprietary aluminium Louvre system.

FT-6b Plant - Solid
Powdercoated panelised aluminium cladding.

FT-7 Retail Shopfront
Shopfront glazing with powdercoated aluminium grille over.

FT-8 Lobby Glazing
Commercial glazing system

FT-9 Podium - Brick
Brick

FT-10 Podium - Aluminium
Powdercoated Aluminium

FT-11 Bike Store Enclosure
Powdercoated Louvre

RF-1 Roof Terrace
Concrete roof with membrane and falls. Pavers on chairs over where shown.

RF-2 Roof - Plant
Lightweight Metal Deck roof with profiled metal sheeting commercial profile.

FC-1 Fence
Chainlink

AW-1 Awnnings
Painted or Powdercoated panelised cladding to soffit.

07	18/12/2023	For Approval	AR
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

Elevations
Elevations - Sheet 1

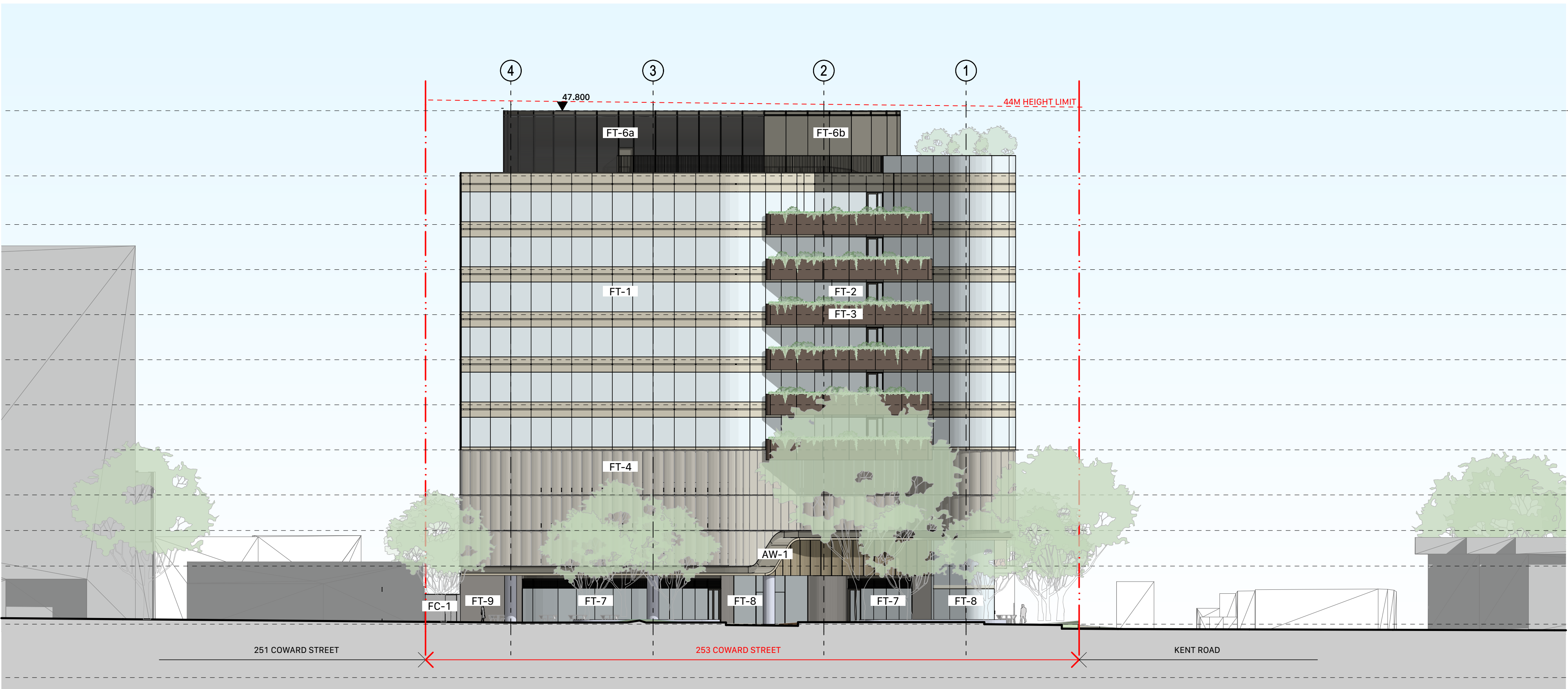
Scale
1:250 @ A1

Project Code
TPM

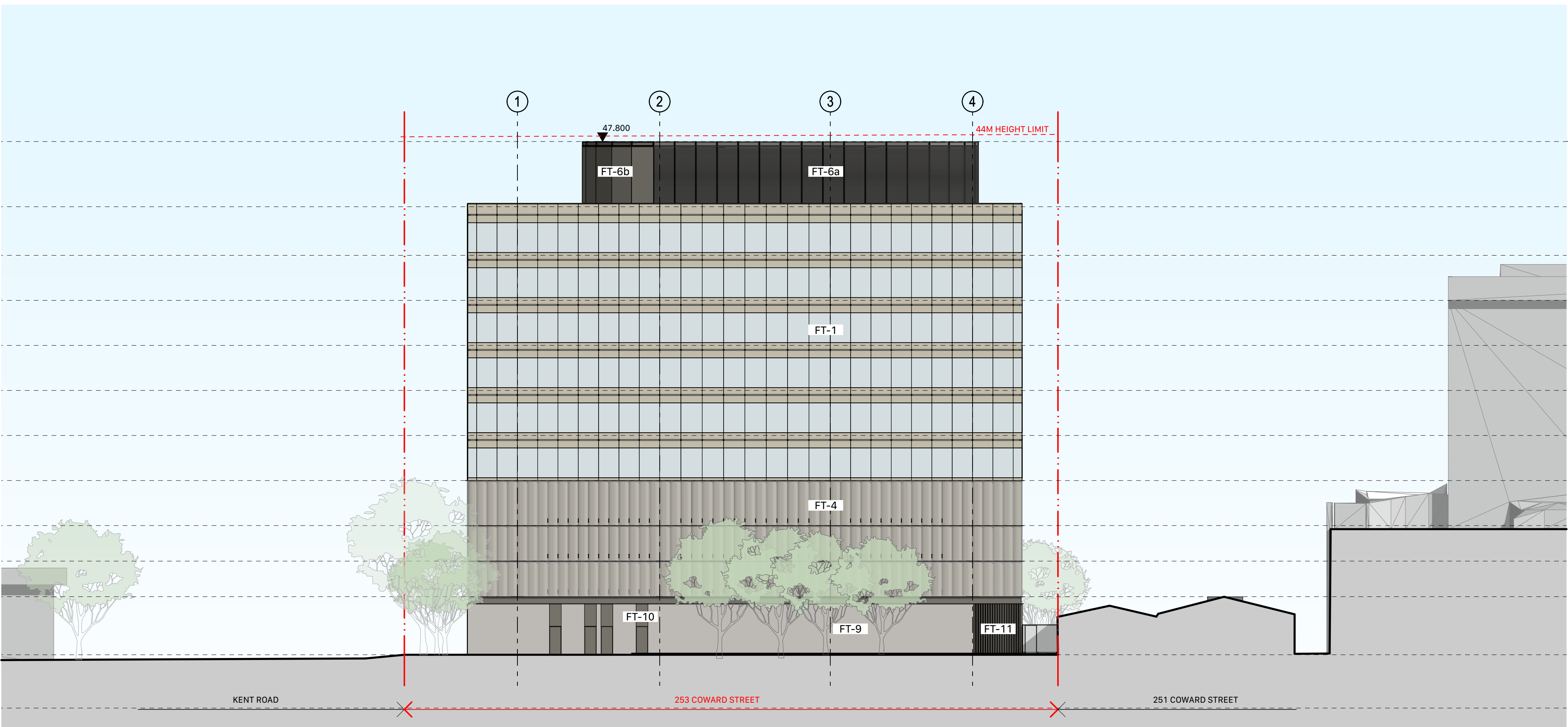
First Issued
2/12/2022

Sheet No.
3000

Rev
07



1 ELEVATION North Elevation
1:250



2 ELEVATION South Elevation
1:250

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Legend

--- BOUNDARY

--- SETBACKS

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FT-2 Terrace Glazing
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FT-3 Terrace Planters
Powdercoated aluminium clad

FT-4 Carpark
Mesh screening system. Approx 50% transparent.

FT-4a Lobby Entry Wall
Powdercoated aluminium cladding

FT-5 West Terrace
Perforated metal panel. Approx 50% transparent.

FT-6a Plant - Louvre
Powdercoated proprietary aluminium Louvre system.

FT-6b Plant - Solid
Powdercoated panelised aluminium cladding.

FT-7 Retail Shopfront
Shopfront glazing with powdercoated aluminium grille over.

FT-8 Lobby Glazing
Commercial glazing system

FT-9 Podium - Brick
Brick

FT-10 Podium - Aluminium
Powdercoated Aluminium

FT-11 Bike Store Enclosure
Powdercoated Louvre

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Concrete roof with membrane and falls. Pavers on chairs over where shown.

RF-2 Roof - Plant
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FC-1 Fence
Chainlink

AW-1 Awnnings
Painted or Powdercoated panelised cladding to soffit.

07	18/7/2023	For Approval	AR
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09	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR
02	2/12/2022	Issued for Review	AR

Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

Elevations
Elevations - Sheet 2

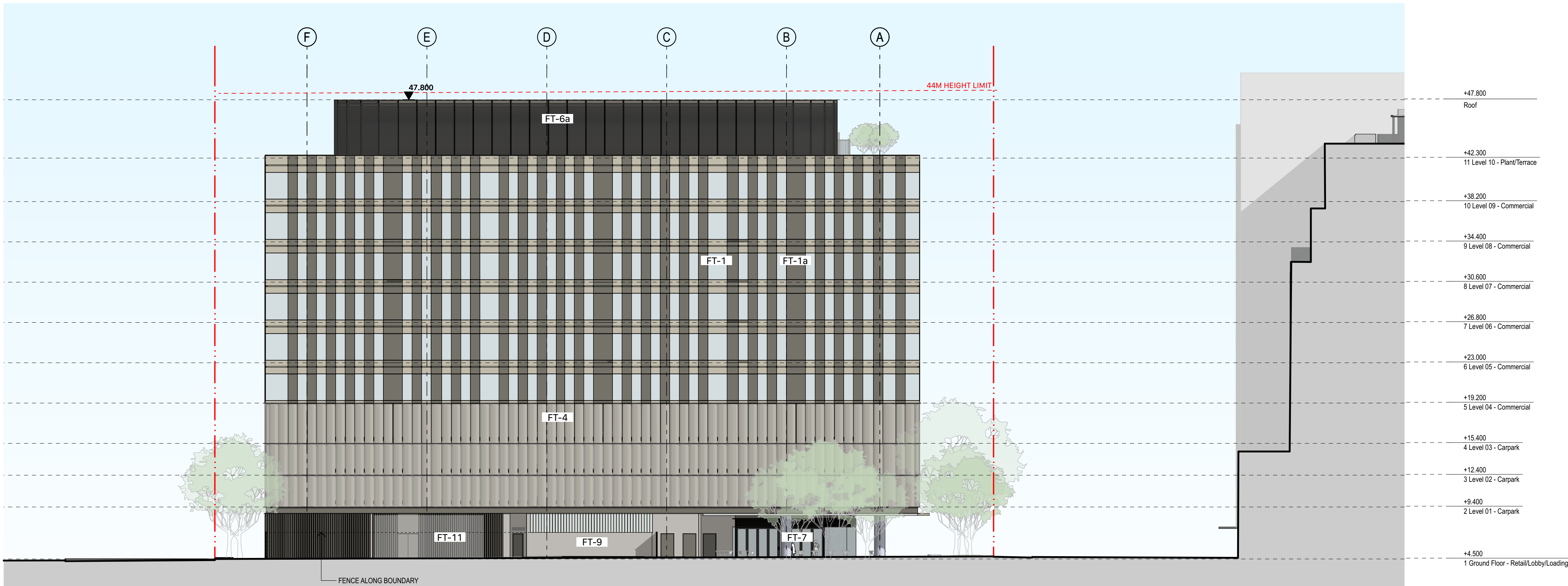
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Project Code
TPM

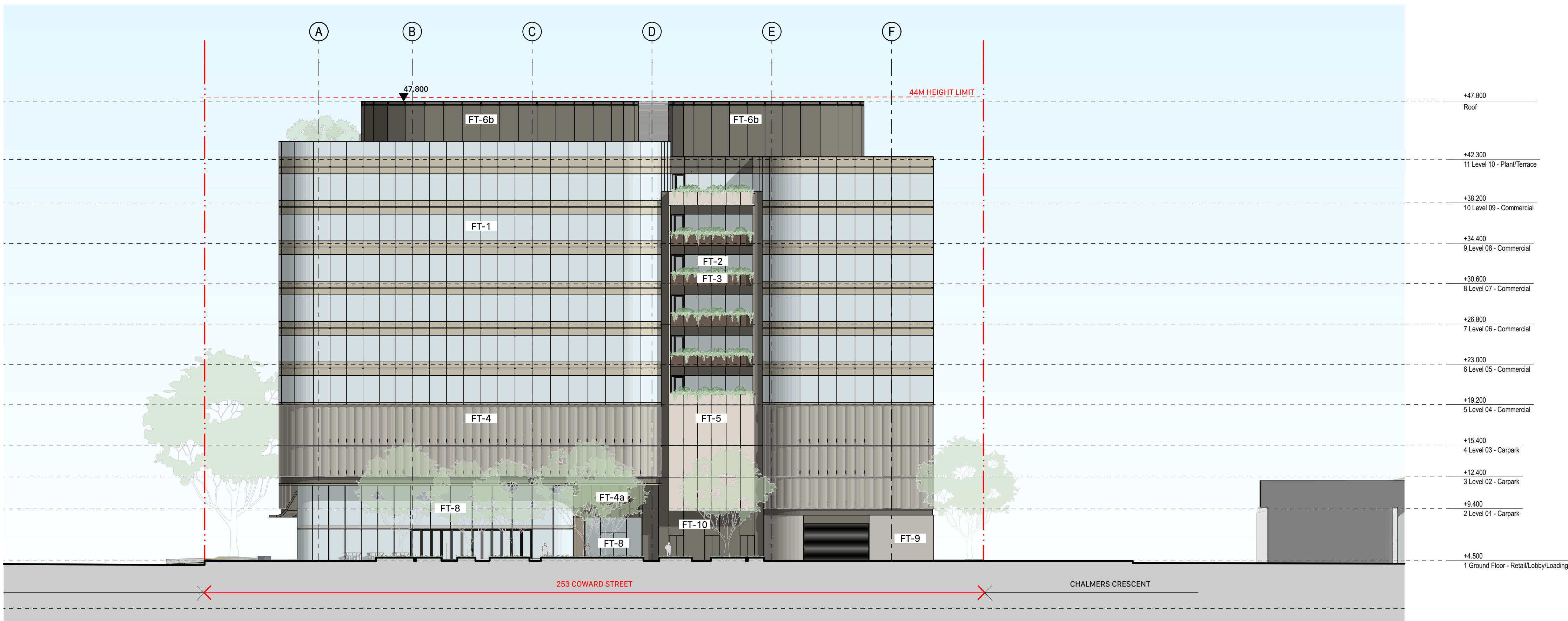
First Issued
2/12/2022

Sheet No.
3001

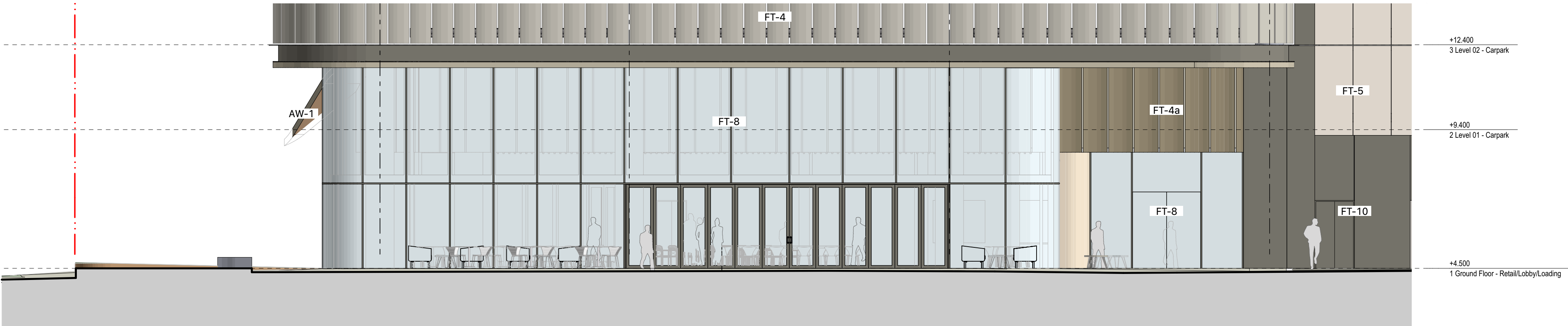
Rev
07



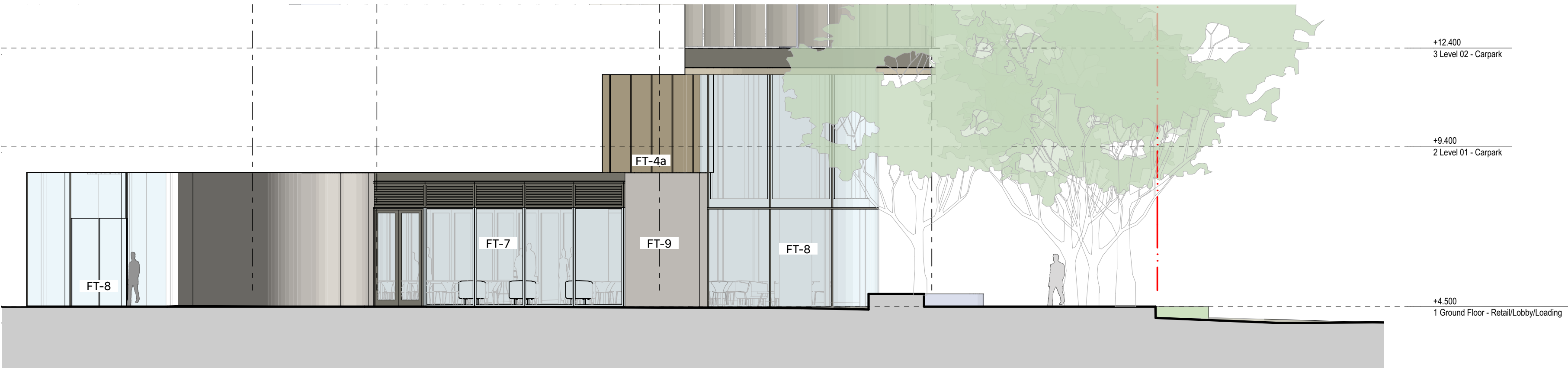
1 ELEVATION East Elevation
1:250



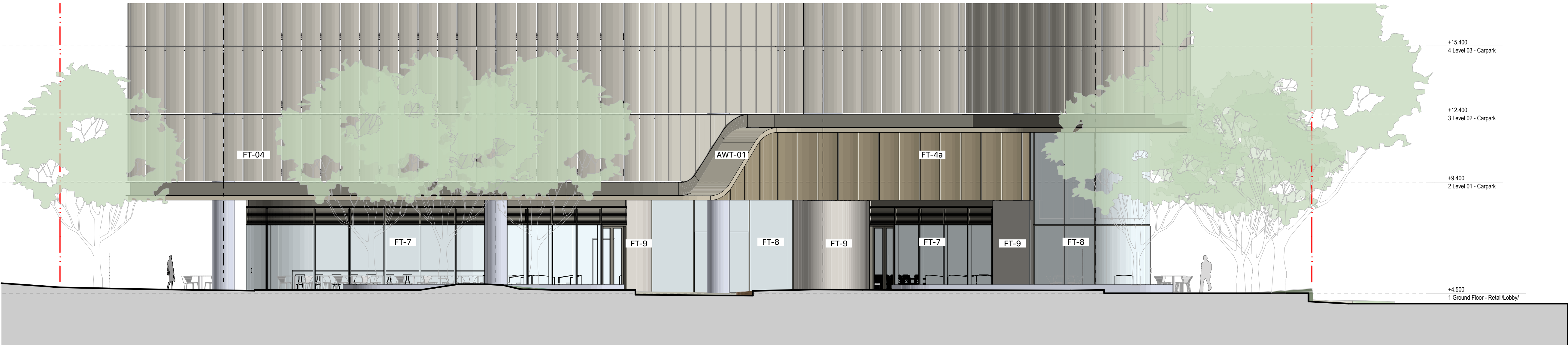
2 ELEVATION West Elevation
1:250



1 ELEVATION North West Tenancy - West Elevation
1:100



2 ELEVATION North West Tenancy - North East Elevation
1:100



3 ELEVATION North Elevation
1:100

fcstudio
formerly fjmstudio

0 1 2 5m

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Legend

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--- SETBACKS

Facade Descriptions

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FT-4a Lobby Entry Wall
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FT-6b Plant - Solid
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Powdercoated Aluminium

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RF-2 Roof - Plant
Lightweight Metal Deck roof with profiled metal sheeting commercial profile.

FC-1 Fence
Chainlink

AW-1 Awnings
Painted or Powdercoated panelised cladding to soffit.

02	18/7/2023	For Approval	AR
01	29/6/2023	For Approval	AR

Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

Elevations Scale
Elevation - Entry Detailed 1:100 @ A1

Project Code First Issued
TPM 29/6/2023

Sheet No. Rev
3002 02

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Chainlink

AW-1 Awnings
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01	18/7/2023	For Approval	AR
Rev	Date	Description	By Chk

Coward St Mascot
253 Coward Street
Mascot NSW 2020

Elevations	Scale
Entry Detailed - View 1	1:100 @ A1

Project Code	First Issued
TPM	18/7/2023

Sheet No.	Rev
3003	01



1 3D VIEW View 1

NOTE: RETAIL TENANCIES SUBJECT TO TENANT FITOUT

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AW-1 Awnings
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

Elevations	Scale
Entry Detailed - View 2	1:100 @ A1

Project Code	First Issued
TPM	18/7/2023

Sheet No.	Rev
3004	01



1 3D VIEW View 2

NOTE: RETAIL TENANCIES SUBJECT TO TENANT FITOUT

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Brick
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Powdercoated Louvre
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Concrete roof with membrane and falls. Pavers on chairs over where shown.
- RF-2 Roof - Plant**
Lightweight Metal Deck roof with profiled metal sheeting commercial profile.
- FC-1 Fence**
Chainlink
- AW-1 Awnnings**
Painted or Powdercoated panelised cladding to soffit.



1 3D VIEW View 3

NOTE: RETAIL TENANCIES SUBJECT TO TENANT FITOUT

Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

Elevations	Scale
Entry Detailed - View 3	1:100 @ A1

Project Code	First Issued
TPM	18/7/2023

Sheet No.	Rev
3005	01

- General notes**
- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
 - All levels relative to 'Australian Height Datum'.
 - Do not scale drawings.
 - Use figured dimensions only.

Legend

- BOUNDARY
- SETBACKS

Facade Descriptions
See 9001 Digital Sample Board for colours

FT-1 Commercial Glazing - Typical
DGU with profiled aluminium spandrel. Nom. 1800mm wide panels

FT-1a Commercial Glazing - Solid
To match Commercial Glazing - Typical with solid aluminium panel instead of DGU. Widths vary.

FT-2 Terrace Glazing
DGU with aluminium grille over. Nom. 1800mm wide panels

FT-3 Terrace Planters
Powdercoated aluminium clad

FT-4 Carpark
Mesh screening system. Approx 50% transparent.

FT-4a Lobby Entry Wall
Powdercoated aluminium cladding

FT-5 West Terrace
Perforated metal panel. Approx 50% transparent.

FT-6a Plant - Louvre
Powdercoated proprietary aluminium Louvre system.

FT-6b Plant - Solid
Powdercoated panelised aluminium cladding.

FT-7 Retail Shopfront
Shopfront glazing with powdercoated aluminium grille over.

FT-8 Lobby Glazing
Commercial glazing system

FT-9 Podium - Brick
Brick

FT-10 Podium - Aluminium
Powdercoated Aluminium

FT-11 Bike Store Enclosure
Powdercoated Louvre

RF-1 Roof Terrace
Concrete roof with membrane and falls. Pavers on chairs over where shown.

RF-2 Roof - Plant
Lightweight Metal Deck roof with profiled metal sheeting commercial profile.

FC-1 Fence
Chainlink

AW-1 Awnings
Painted or Powdercoated panelised cladding to soffit.

01 18/7/2023 For Approval AR

Rev Date Description By Chk

Coward St Mascot
253 Coward Street
Mascot NSW 2020

Elevations **Scale**
Entry Detailed - View 4 1:100 @ A1

Project Code **First Issued**
TPM 18/7/2023

Sheet No. **Rev**
3006 01



2 3D VIEW Internal View 1

NOTE: RETAIL TENANCIES SUBJECT TO TENANT FITOUT

- General notes**
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 - All levels relative to 'Australian Height Datum'.
 - Do not scale drawings.
 - Use figured dimensions only.

Legend

- BOUNDARY
- SETBACKS

Facade Descriptions
See 9001 Digital Sample Board for colours

FT-1 Commercial Glazing - Typical
DGU with profiled aluminium spandrel. Nom. 1800mm wide panels

FT-1a Commercial Glazing - Solid
To match Commercial Glazing - Typical with solid aluminium panel instead of DGU. Widths vary.

FT-2 Terrace Glazing
DGU with aluminium grille over. Nom. 1800mm wide panels

FT-3 Terrace Planters
Powdercoated aluminium clad

FT-4 Carpark
Mesh screening system. Approx 50% transparent.

FT-4a Lobby Entry Wall
Powdercoated aluminium cladding

FT-5 West Terrace
Perforated metal panel. Approx 50% transparent.

FT-6a Plant - Louvre
Powdercoated proprietary aluminium Louvre system.

FT-6b Plant - Solid
Powdercoated panelised aluminium cladding.

FT-7 Retail Shopfront
Shopfront glazing with powdercoated aluminium grille over.

FT-8 Lobby Glazing
Commercial glazing system

FT-9 Podium - Brick
Brick

FT-10 Podium - Aluminium
Powdercoated Aluminium

FT-11 Bike Store Enclosure
Powdercoated Louvre

RF-1 Roof Terrace
Concrete roof with membrane and falls. Pavers on chairs over where shown.

RF-2 Roof - Plant
Lightweight Metal Deck roof with profiled metal sheeting commercial profile.

FC-1 Fence
Chainlink

AW-1 Awnings
Painted or Powdercoated panelised cladding to soffit.

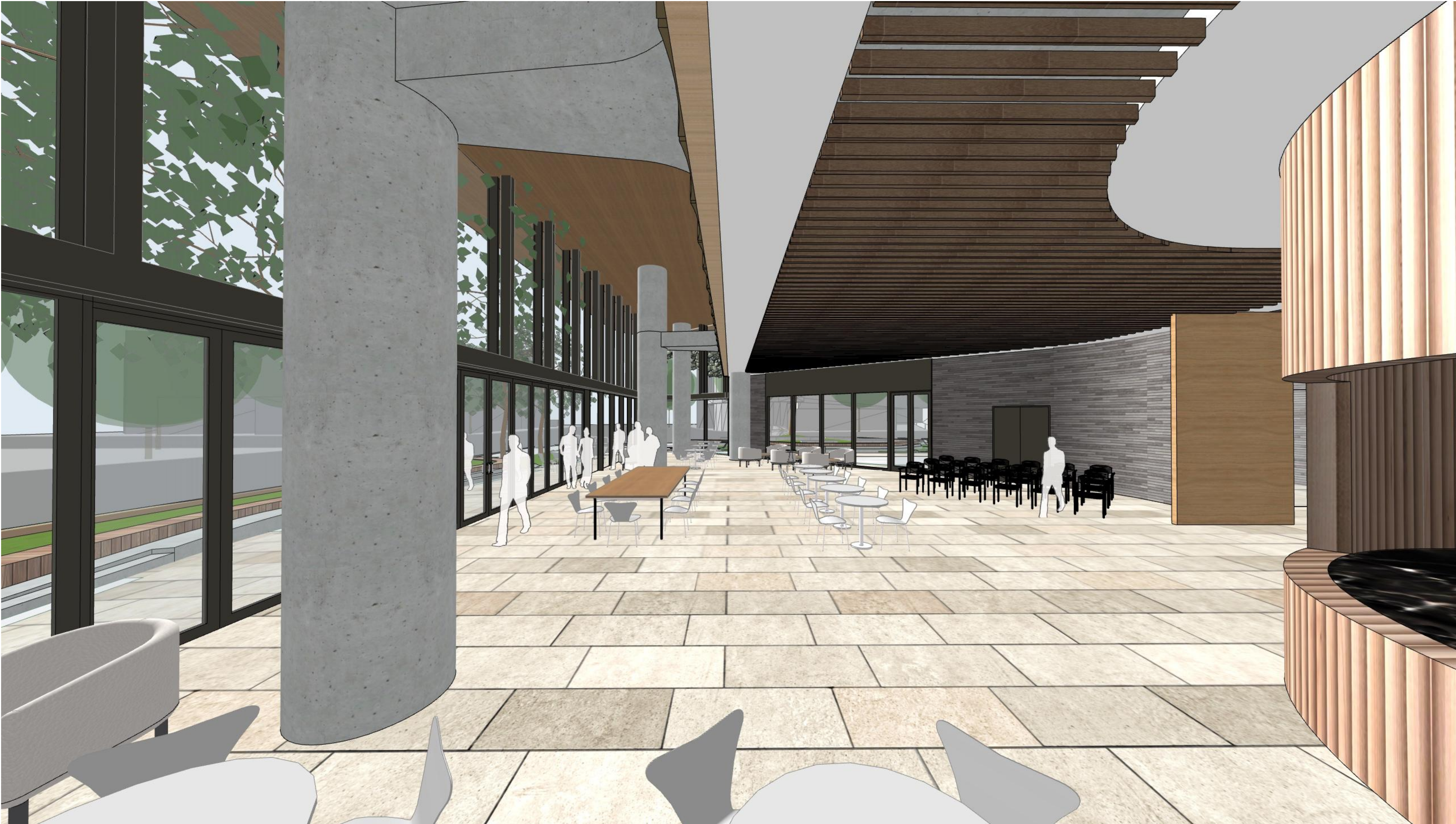
01	18/7/2023	For Approval	AR
Rev	Date	Description	By
Chk			

Coward St Mascot
253 Coward Street
Mascot NSW 2020

Elevations	Scale
Entry Detailed - View 5	1:100 @ A1

Project Code	First Issued
TPM	18/7/2023

Sheet No.	Rev
3007	01



2 3D VIEW Internal View 2

NOTE: RETAIL TENANCIES SUBJECT TO TENANT FITOUT

- General notes**
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 - Use figured dimensions only.

Legend

- BOUNDARY
- SETBACKS

Facade Descriptions
See 9001 Digital Sample Board for colours

FT-1 Commercial Glazing - Typical
DGU with profiled aluminium spandrel. Nom. 1800mm wide panels

FT-1a Commercial Glazing - Solid
To match Commercial Glazing - Typical with solid aluminium panel instead of DGU. Widths vary.

FT-2 Terrace Glazing
DGU with aluminium grille over. Nom. 1800mm wide panels

FT-3 Terrace Planters
Powdercoated aluminium clad

FT-4 Carpark
Mesh screening system. Approx 50% transparent.

FT-4a Lobby Entry Wall
Powdercoated aluminium cladding

FT-5 West Terrace
Perforated metal panel. Approx 50% transparent.

FT-6a Plant - Louvre
Powdercoated proprietary aluminium Louvre system.

FT-6b Plant - Solid
Powdercoated panelised aluminium cladding.

FT-7 Retail Shopfront
Shopfront glazing with powdercoated aluminium grille over.

FT-8 Lobby Glazing
Commercial glazing system

FT-9 Podium - Brick
Brick

FT-10 Podium - Aluminium
Powdercoated Aluminium

FT-11 Bike Store Enclosure
Powdercoated Louvre

RF-1 Roof Terrace
Concrete roof with membrane and falls. Pavers on chairs over where shown.

RF-2 Roof - Plant
Lightweight Metal Deck roof with profiled metal sheeting commercial profile.

FC-1 Fence
Chainlink

AW-1 Awnings
Painted or Powdercoated panelised cladding to soffit.

01	18/7/2023	For Approval	AR
Rev	Date	Description	By
Chk			

Coward St Mascot
253 Coward Street
Mascot NSW 2020

Elevations	Scale
Entry Detailed - View 6	1:100 @ A1

Project Code	First Issued
TPM	18/7/2023

Sheet No.	Rev
3008	01



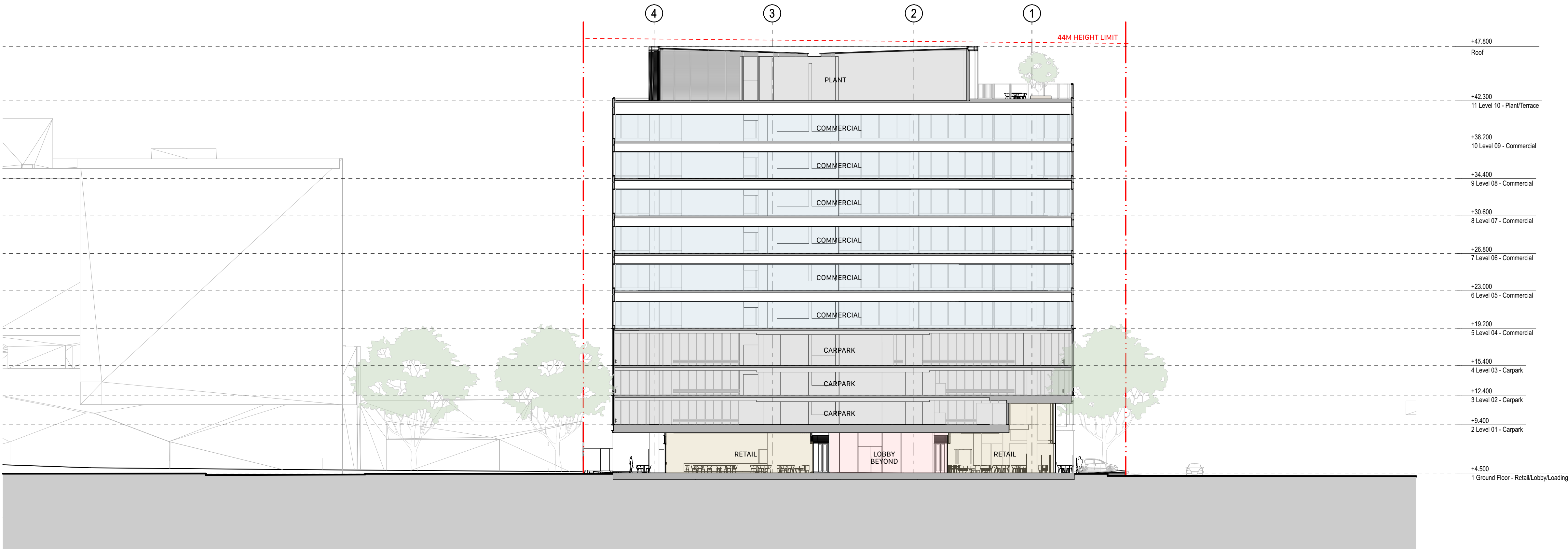
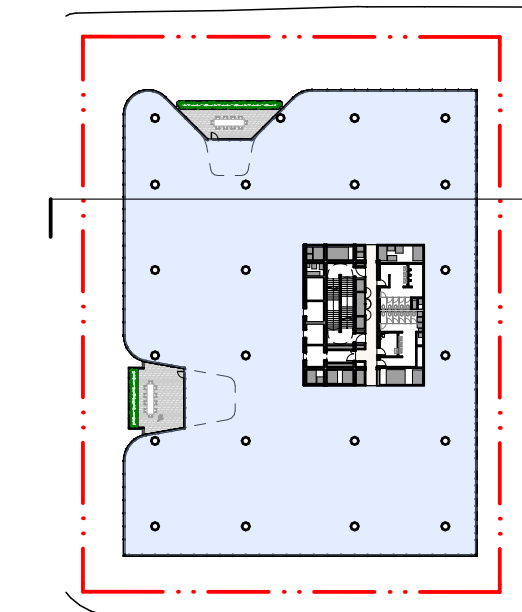
2 3D VIEW Internal View 3

NOTE: RETAIL TENANCIES SUBJECT TO TENANT FITOUT

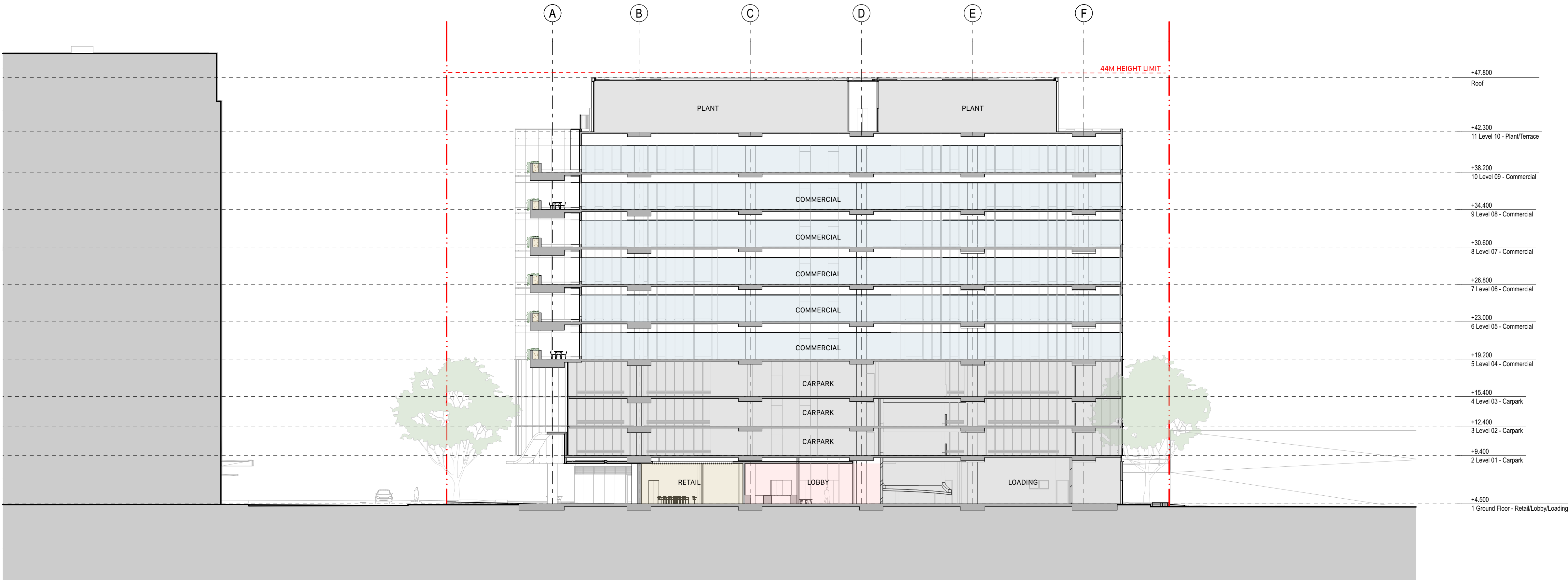
- General notes**
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 - All levels relative to 'Australian Height Datum'.
 - Do not scale drawings.
 - Use figured dimensions only.

Legend

- BOUNDARY
--- SETBACKS



1 SECTION AA
1:250



2 SECTION BB
1:250

07	18/7/2023	For Approval	AR
06	29/6/2023	For Approval	AR
05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR
02	2/12/2022	Issued for Review	AR

Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

Sections	Scale
Sections - Sheet 1	1:250 @ A1

Project Code	First Issued
TPM	2/12/2022

Sheet No.	Rev
4000	07

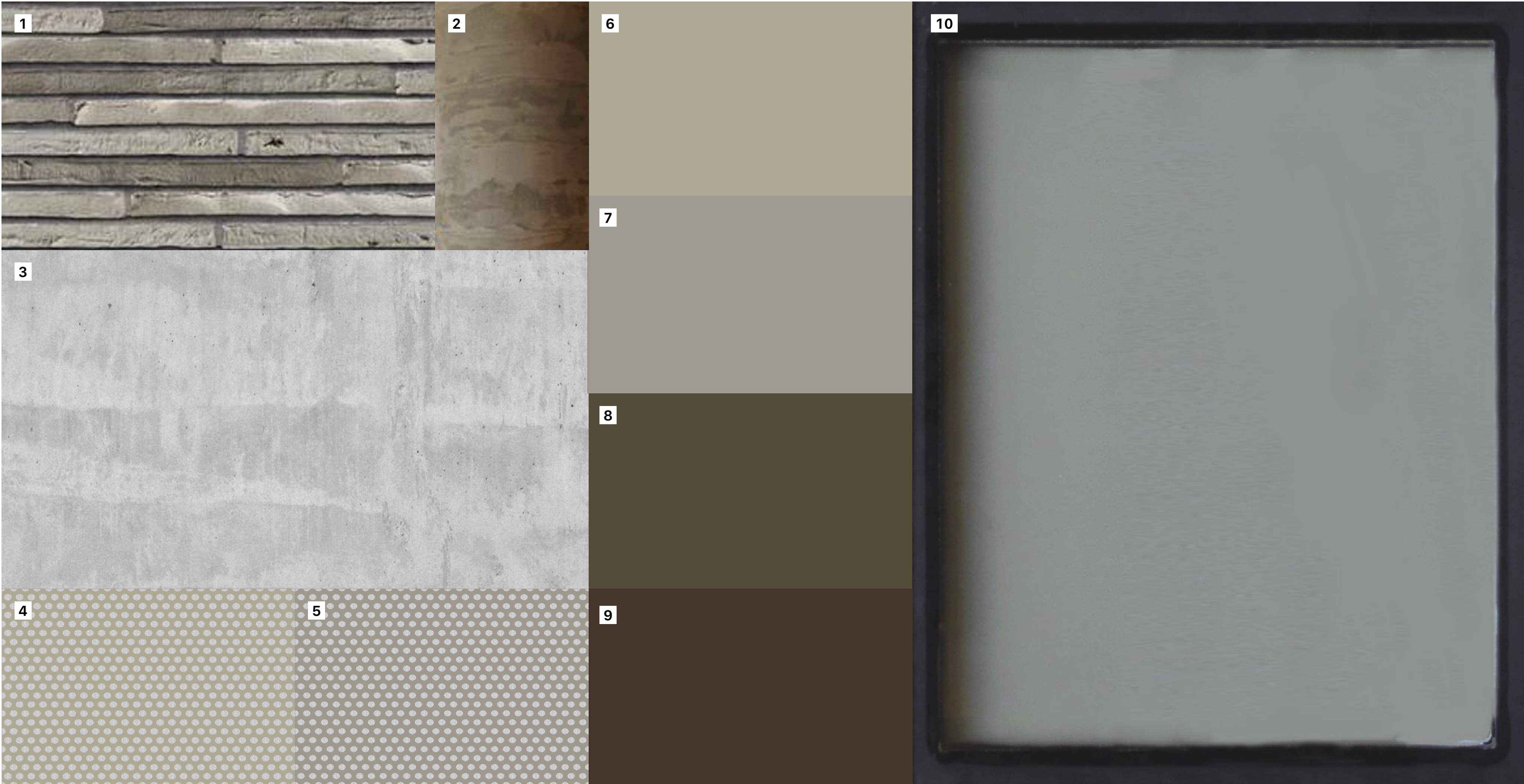
253 COWARD STREET, MASCOT	Lot Area:	FSR	Retail		Commercial		GBA	Parking					EOT							
	4,047	4.024																		
Level	RL	Floor to Floor Height	GFA	GLAR	GFA	NLA		Class 1	Small	ACC	Total	MB	Male		Female		ACC		BIKE	
Roof	47.80																			
Plant/Terrace	42.30	5.5	-		7		1,500													
Level 9	38.20	4.1	-	-	2,523	2,416	2,836													
Level 8	34.40	3.8	-	-	2,523	2,416	2,836													
Level 7	30.60	3.8	-	-	2,523	2,416	2,836													
Level 6	26.80	3.8	-	-	2,523	2,416	2,836													
Level 5	23.00	3.8	-	-	2,523	2,416	2,836													
Level 4	19.20	3.8	-	-	2,523	2,416	2,843													
Level 3	15.40	3.8	-	-			2,852												68	8
Level 2	12.40	3	-	-			2,852	61	8	2	71	5								
Level 1	9.40	3	-	-			2,711	52	8	2	62	2								
Ground Floor	4.50	4.9	564	516	578		2,110						Showers	Lockers	Showers	Lockers	Showers	Lockers	Spaces	
	Total HOB	43.3	GFA	GLAR	GFA	NLA	GBA	Total Car Spaces				Total MB								
		Total	564	516	15,723	14,496	29,048	209				12								6
		Total GFA				16,287														

General notes

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Legend

07	18/7/2023	For Approval	AR	
06	29/6/2023	For Approval	AR	
05	25/6/2023	For Approval	MZ	
04	13/12/2022	For Approval	AR	
Rev	Date	Description	By	Chk
Coward St Mascot 253 Coward Street Mascot NSW 2020				
Supplementary Material Development Schedule			Scale No Scale @ A1	
Project Code TPM			First Issued 13/12/2022	
Sheet No. 9000			Rev 07	



Facade Descriptions		Material #
FT-1	Commercial Glazing - Typical DGU with profiled aluminium spandrel. Nom. 1800mm wide panels	6/10
FT-1a	Commercial Glazing - Solid To match Commercial Glazing - Typical with solid aluminium panel instead of DGU. Widths vary.	6
FT-2	Terrace Glazing DGU with aluminium grille over. Nom. 1800mm wide panels	8/10
FT-3	Terrace Planters Powdercoated aluminium clad	9
FT-4	Carpark Mesh screening system. Approx 50% transparent. Nom. 900mm wide panels.	4
FT-4a	Lobby Entry Wall Powdercoated aluminium cladding	7
FT-5	West Terrace Perforated metal panel. Approx 50% transparent.	5
FT-6a	Plant - Louvre Powdercoated proprietary aluminium Louvre system.	8
FT-6b	Plant - Solid Powdercoated panelised aluminium cladding.	8
FT-7	Retail Shopfront Shopfront glazing with powdercoated aluminium grille over.	8/10
FT-8	Lobby Glazing Commercial glazing system	10
FT-9	Podium - Brick Brick	1
FT-10	Podium - Aluminium Powdercoated Aluminium	8
FT-11	Bike Store Enclosure Powdercoated Louvre	8
RF-1	Roof Terrace Concrete roof with membrane and falls. Pavers on chairs over where shown.	
RF-2	Roof - Plant Lightweight Metal Deck roof with profiled metal sheeting commercial profile.	
FC-1	Fence Chainlink	
AW-1	Awnings Powdercoated Aluminium clad. Timber look soffits.	7

General notes

- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
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Legend

07	18/1/2023	For Approval	AR
06	29/6/2023	For Approval	AR
05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR

Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

Supplementary Material	Scale
Digital Materials Board	No Scale @ A1

Project Code	First Issued
TPM	13/12/2022

Sheet No.	Rev
9001	07



- General notes**
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Legend

07	18/1/2023	For Approval	AR
06	29/6/2023	For Approval	AR
05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR

Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

Supplementary Material **Scale**
CGI - Corner of Coward Street and No Scale @ A1
Kent Road

Project Code **First Issued**
TPM 13/12/2022

Sheet No. **Rev**
9002 07



- General notes**
- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
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Legend

07	18/7/2023	For Approval	AR
06	29/6/2023	For Approval	AR
05	25/5/2023	For Approval	MZ
04	13/12/2022	For Approval	AR

Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

Supplementary Material	Scale
CGI - Kent Road	No Scale @ A1

Project Code	First Issued
TPM	13/12/2022

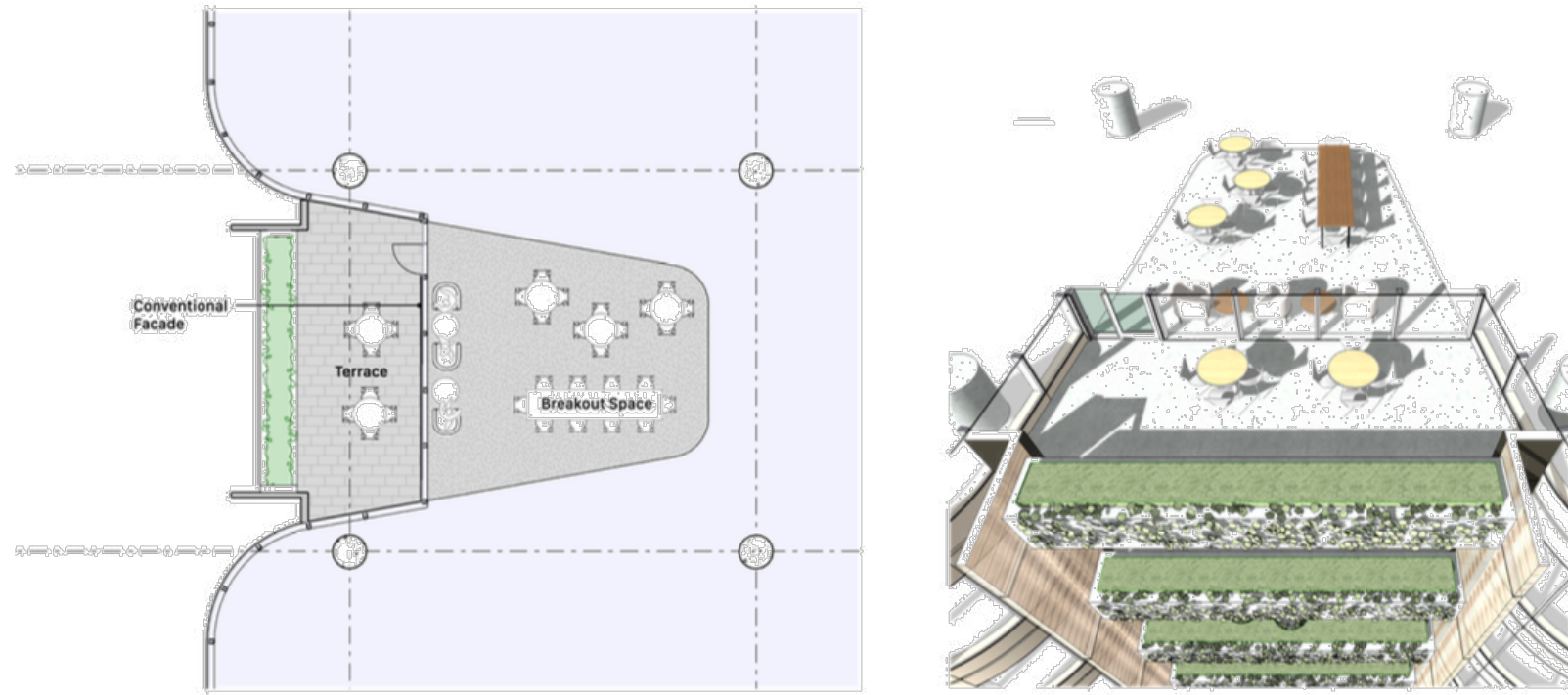
Sheet No.	Rev
9003	07

TERRACE VOID AND MIXED MODE OPTION STUDY

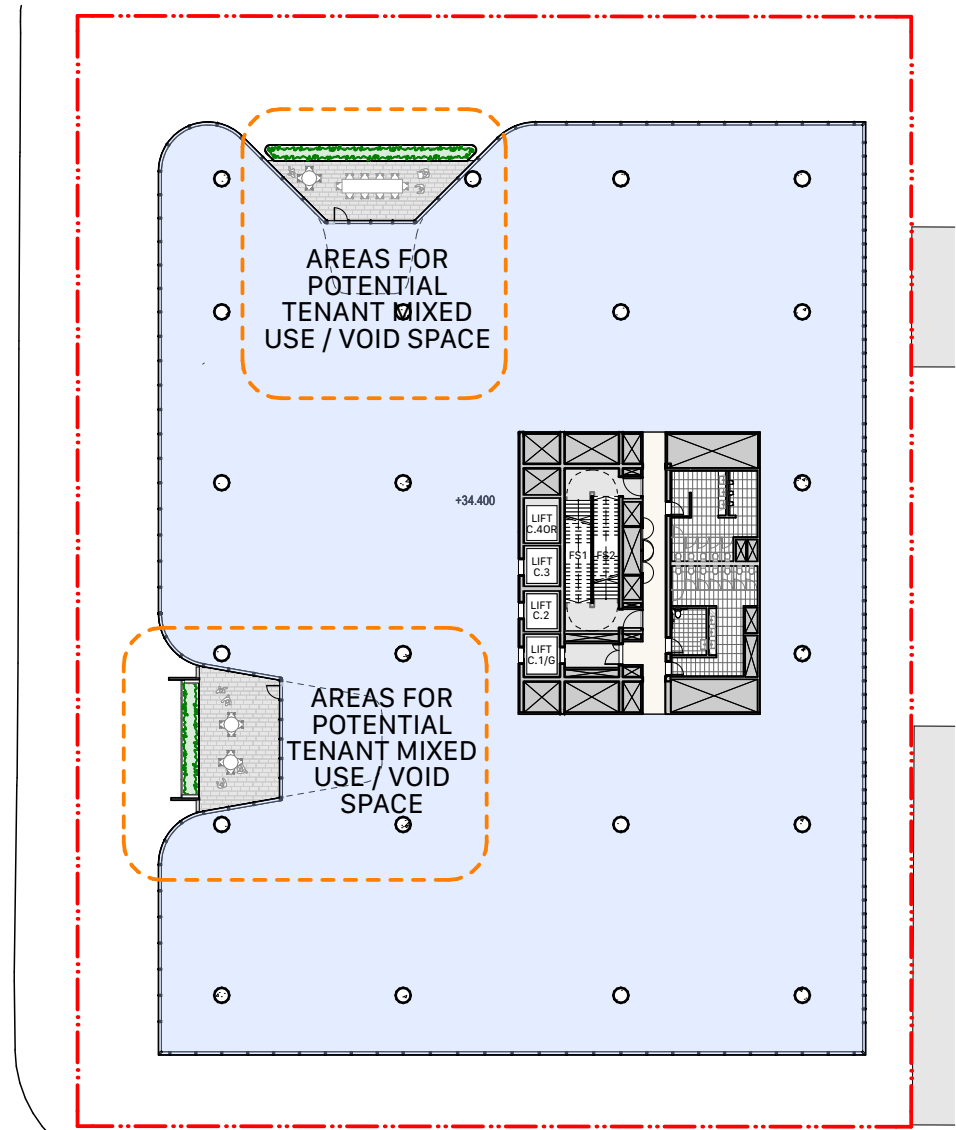
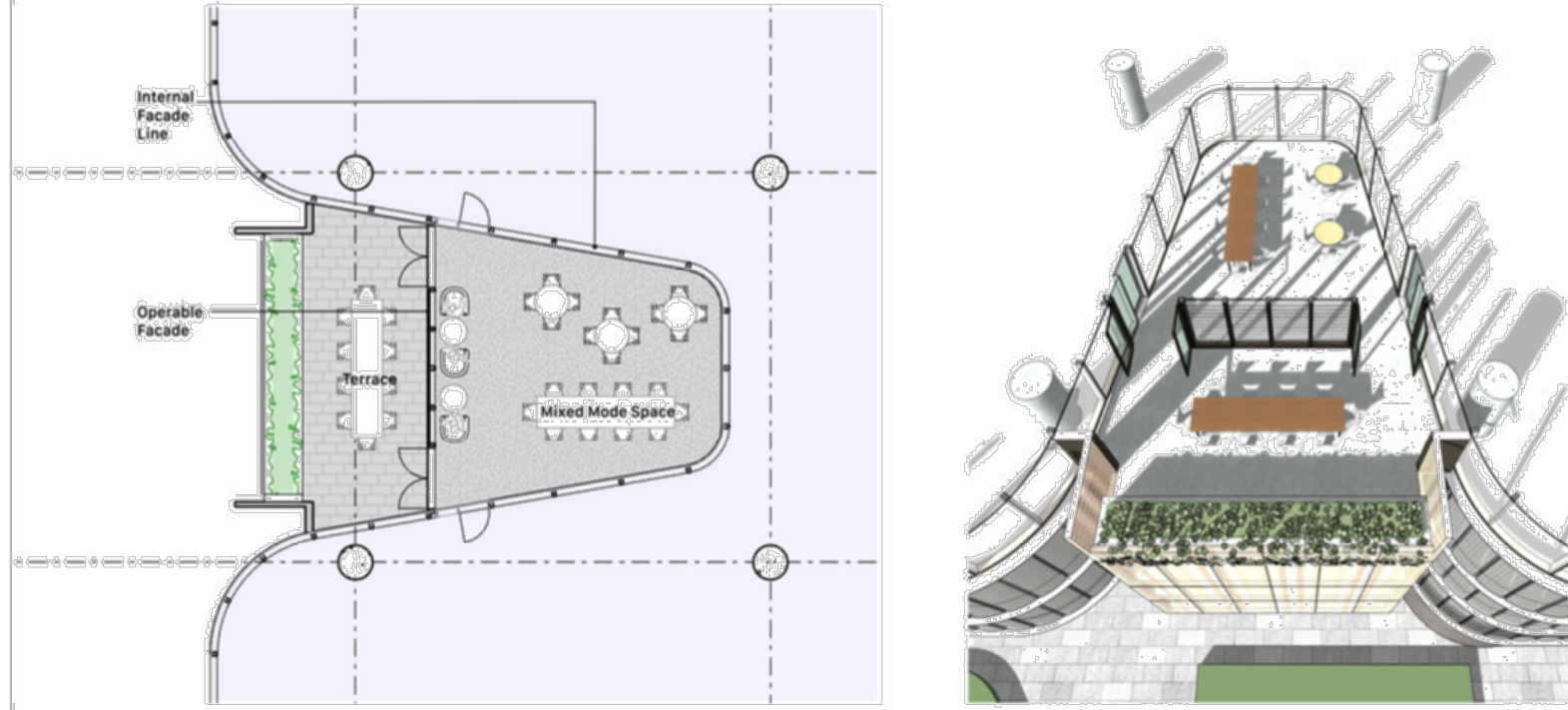
The following drawings illustrate a number of potential scenarios which may be developed in collaboration with future tenants to provide interconnection between floors and potential mixed mode spaces that allow greater connectivity between the internal commercial office space and the terraces.

*NOTE these studies do not form part of the base case approval scenario.

BASE CASE



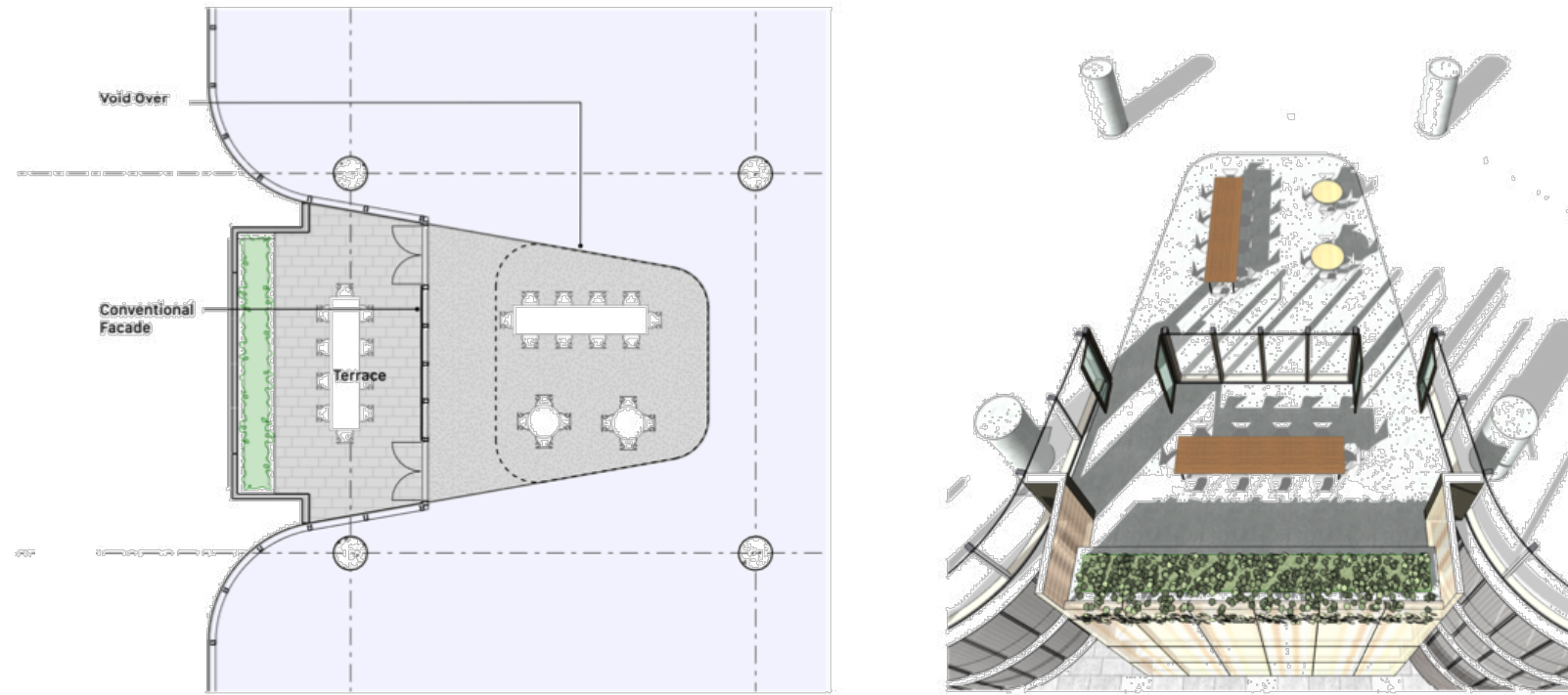
SINGLE LEVEL MIXED MODE SPACE



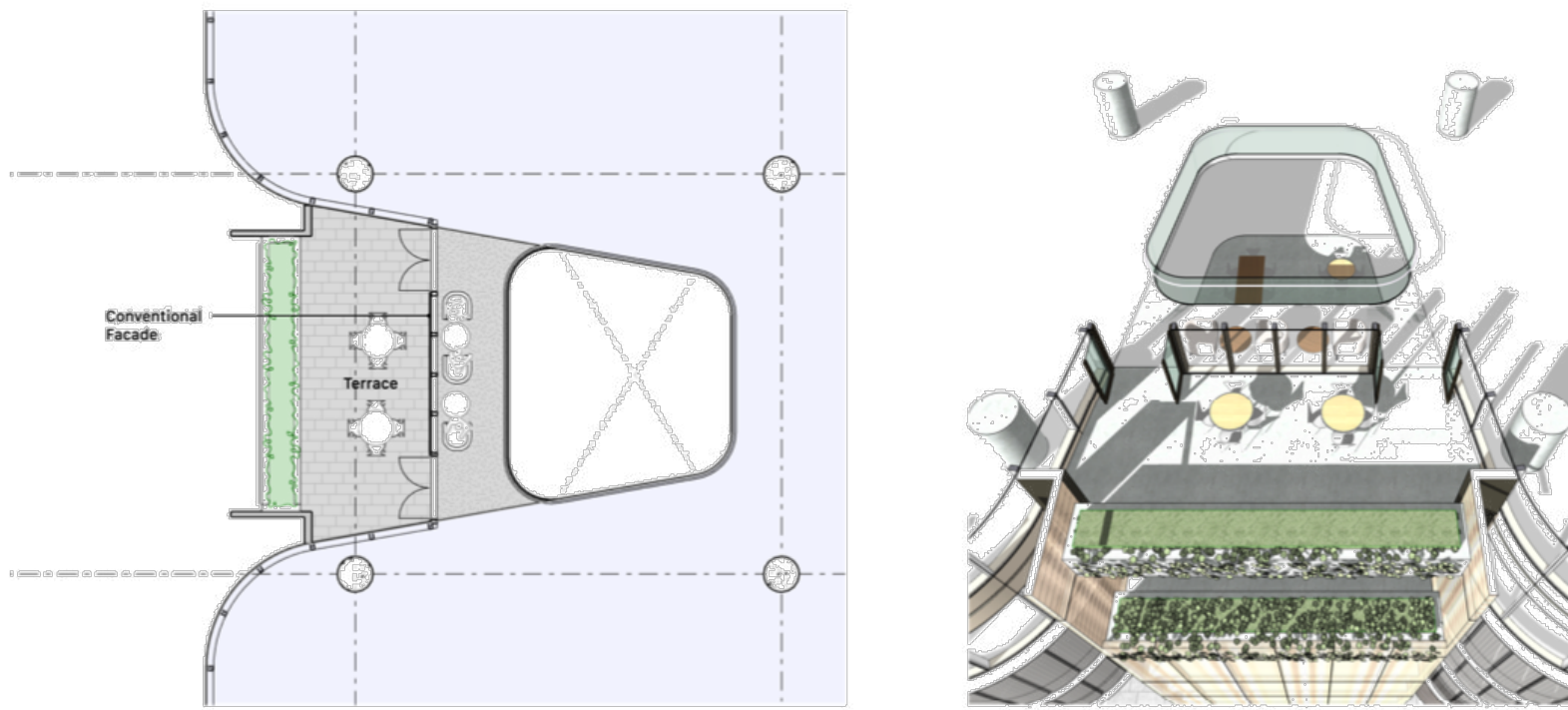
- General notes**
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Legend

MULTI LEVEL VOID



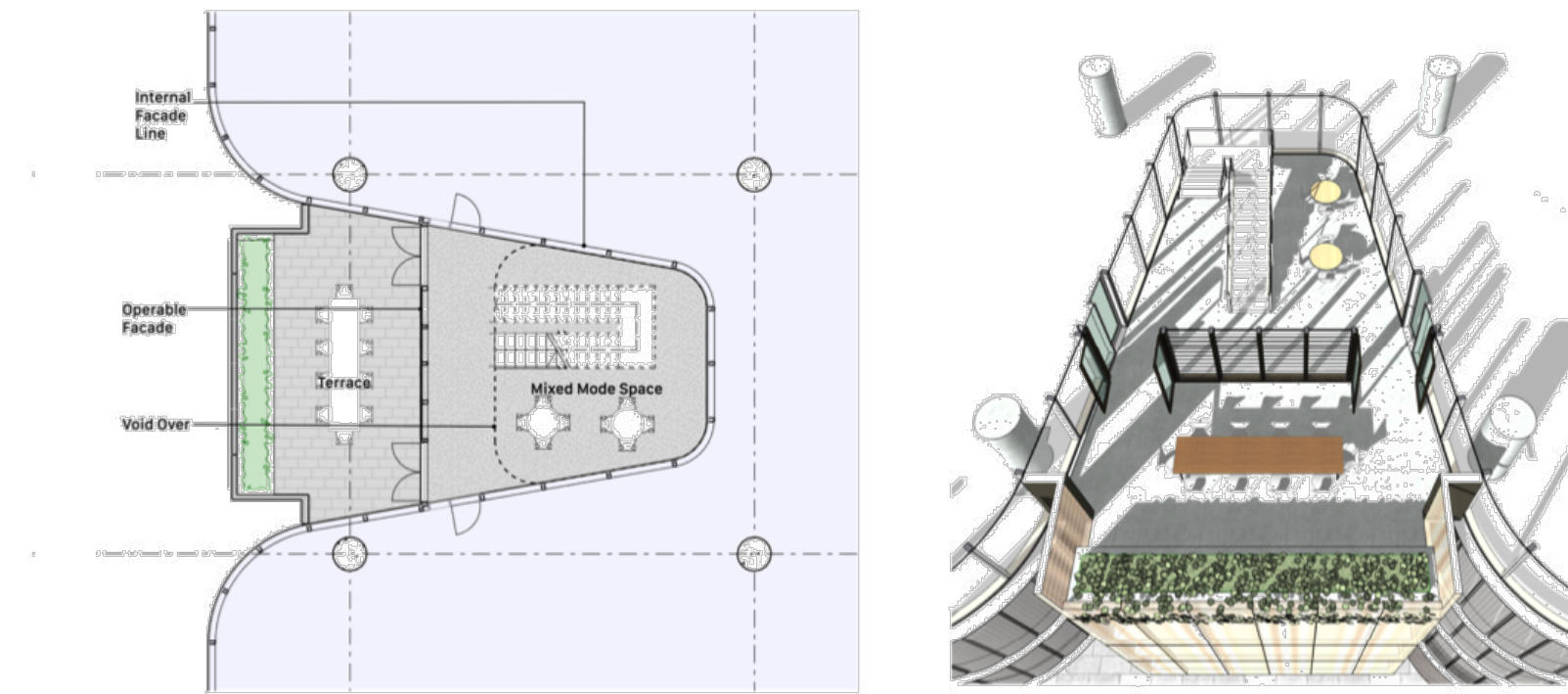
MULTI LEVEL VOID



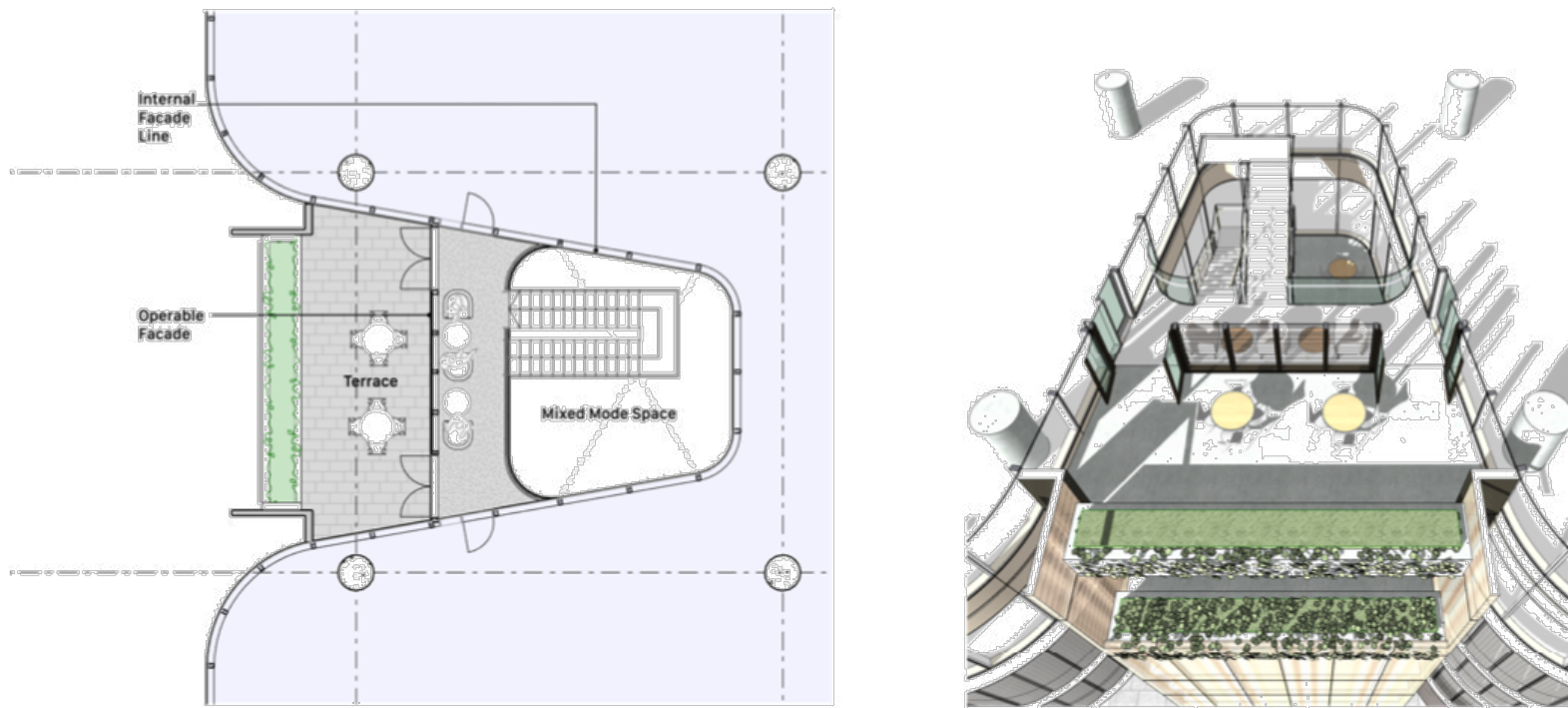
MULTI LEVEL VOID



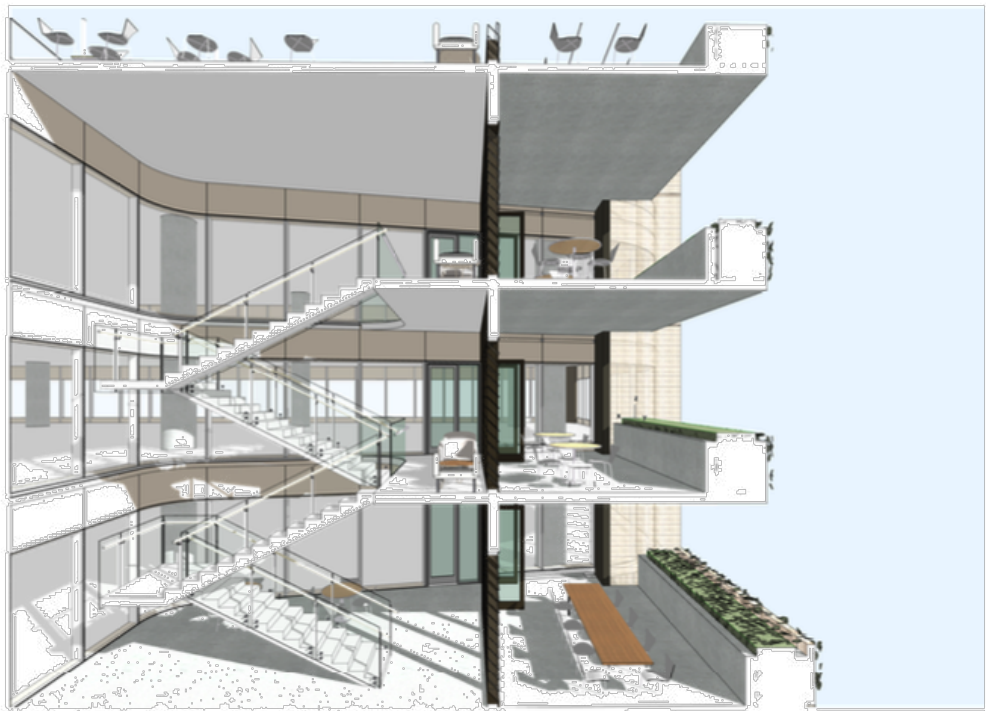
MULTI LEVEL MIXED MODE SPACE



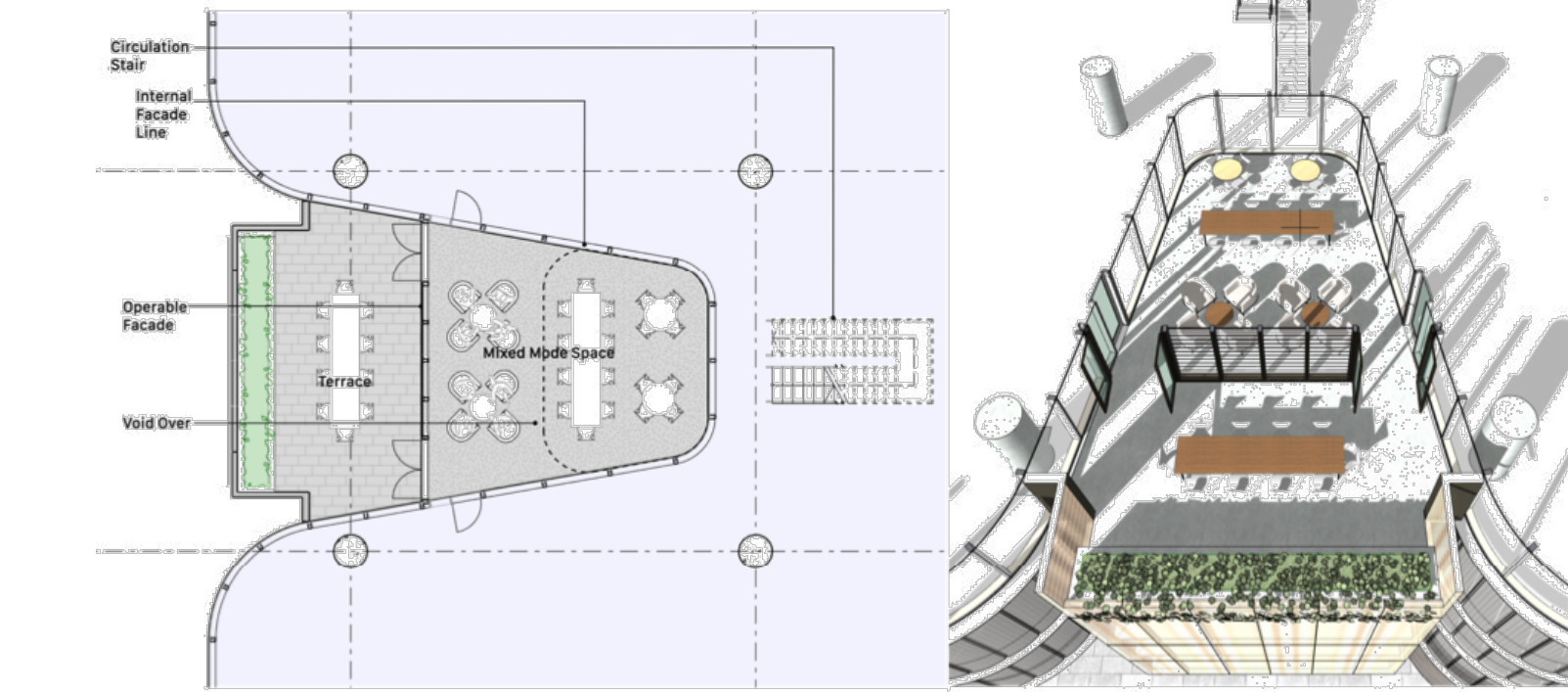
MULTI LEVEL MIXED MODE SPACE



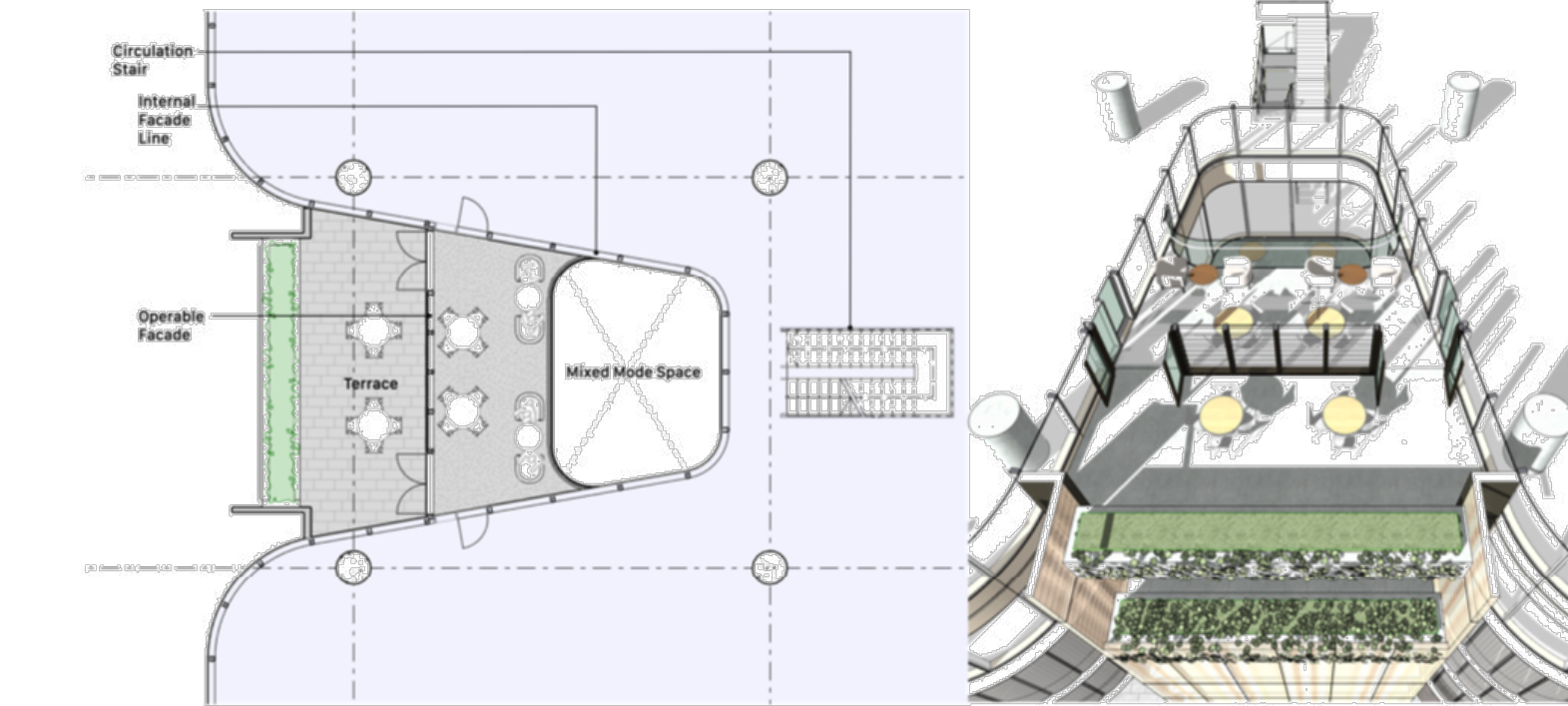
MULTI LEVEL MIXED MODE SPACE



MULTI LEVEL MIXED MODE SPACE WITH EXTERNAL STAIR



MULTI LEVEL MIXED MODE SPACE WITH EXTERNAL STAIR



MULTI LEVEL MIXED MODE SPACE WITH EXTERNAL STAIR



02	18/7/2023	For Approval	AR
01	29/6/2023	For Approval	AR

Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

Supplementary Material
Tenant Void Options

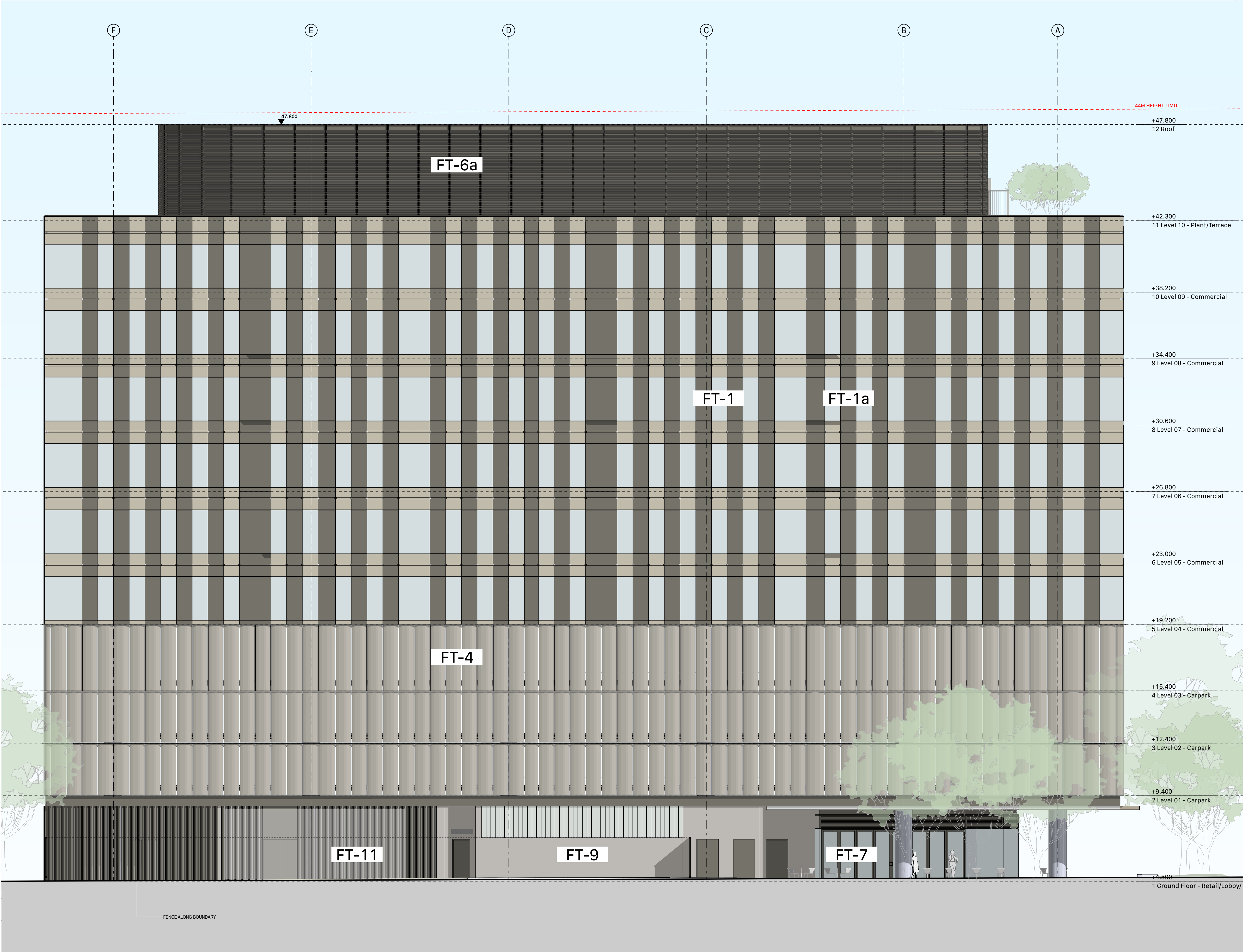
Scale
No Scale @ A1

Project Code
TPM

First Issued
29/6/2023

Sheet No.
9004

Rev
02



0

1

2

5m

fcstudio

formerly fjmstudio

General notes

– All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.

– All levels relative to 'Australian Height Datum'.

– Do not scale drawings.

– Use figured dimensions only.

Legend

– – – – –

BOUNDARY

– – – – –

SETBACKS

Facade Descriptions

See 9001 Digital Sample Board for colours

FT-1

Commercial Glazing - Typical

DGU with profiled aluminium spandrel. Nom. 1800mm wide panels

FT-1a

Commercial Glazing - Solid

To match Commercial Glazing - Typical with solid aluminium panel instead of DGU. Widths vary.

FT-2

Terrace Glazing

DGU with aluminium grille over. Nom. 1800mm wide panels

FT-3

Terrace Planters

Powdercoated aluminium clad

FT-4

Carpark

Mesh screening system. Approx 50% transparent.

FT-4a

Lobby Entry Wall

Powdercoated aluminium cladding

FT-5

West Terrace

Perforated metal panel. Approx 50% transparent.

FT-6a

Plant - Louvre

Powdercoated proprietary aluminium Louvre system.

FT-6b

Plant - Solid

Powdercoated panelised aluminium cladding.

FT-7

Retail Shopfront

Shopfront glazing with powdercoated aluminium grille over.

FT-8

Lobby Glazing

Commercial glazing system

FT-9

Podium - Brick

Brick

FT-10

Podium - Aluminium

Powdercoated Aluminium

FT-11

Bike Store Enclosure

Powdercoated Louvre

RF-1

Roof Terrace

Concrete roof with membrane and falls. Pavers on chairs over where shown.

RF-2

Roof - Plant

Lightweight Metal Deck roof with profiled metal sheeting commercial profile.

FC-1

Fence

Chainlink

AW-1

Awnings

Painted or Powdercoated panelised cladding to soffit.

01

18/7/2023

For Approval

AR

Rev

Date

Description

By

Chk

Coward St Mascot

253 Coward Street

Mascot NSW 2020

1:100

East Elevation

Scale

1:100 @ A1

Project Code

TPM

First Issued

18/7/2023

Sheet No.

01

Rev

01

1 ELEVATION East Elevation 1:100

architecture / interiors / urban / landscape / place Level 5, 70 King Street Sydney 2000 t +61 2 9251 7077 w fjcstudio.com

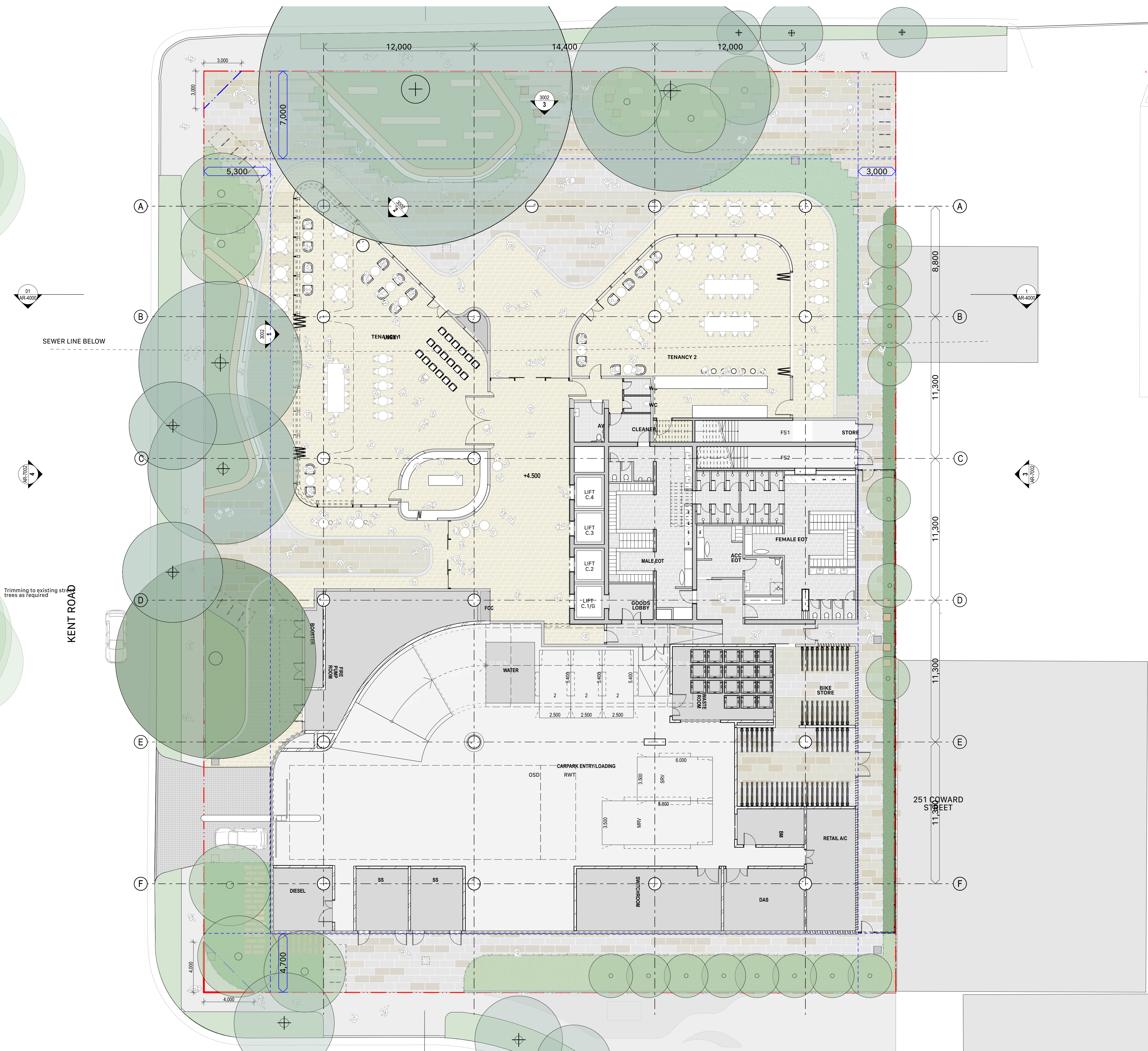
For Approval



- General notes**
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Legend

- BOUNDARY
- SETBACKS



Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

GA Floor Plans 1:150
Level 00 Ground Floor Plan - Mixed Use

Scale
1:150 @ A1

Project Code
TPM

First Issued
18/7/2023

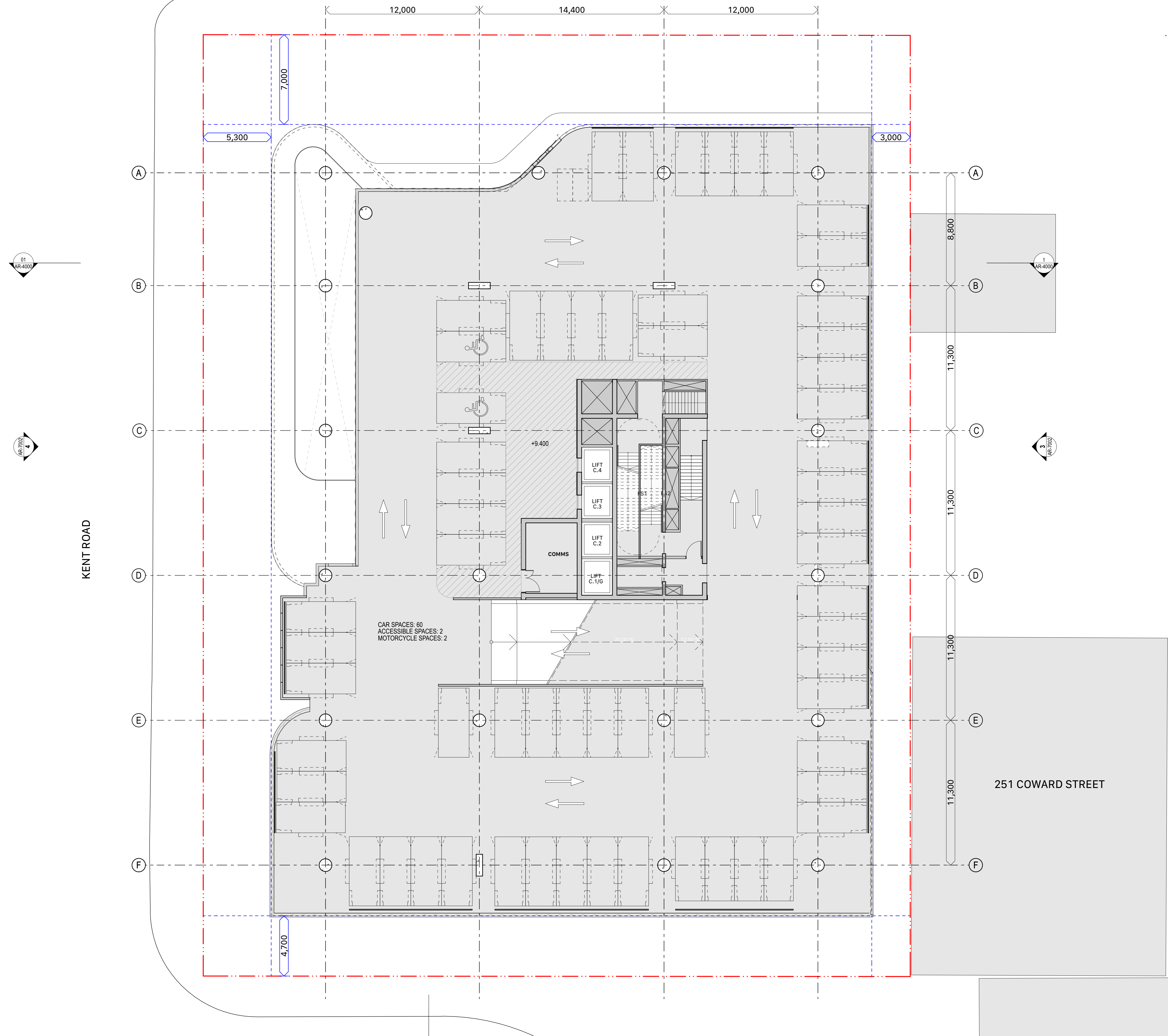
Sheet No.
01

Rev
01



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- Use figured dimensions only.

— . . — BOUNDARY
- - - - - SETBACKS



Coward St Mascot
253 Coward Street
Mascot NSW 2020

Sheet No. _____ Rev _____
01

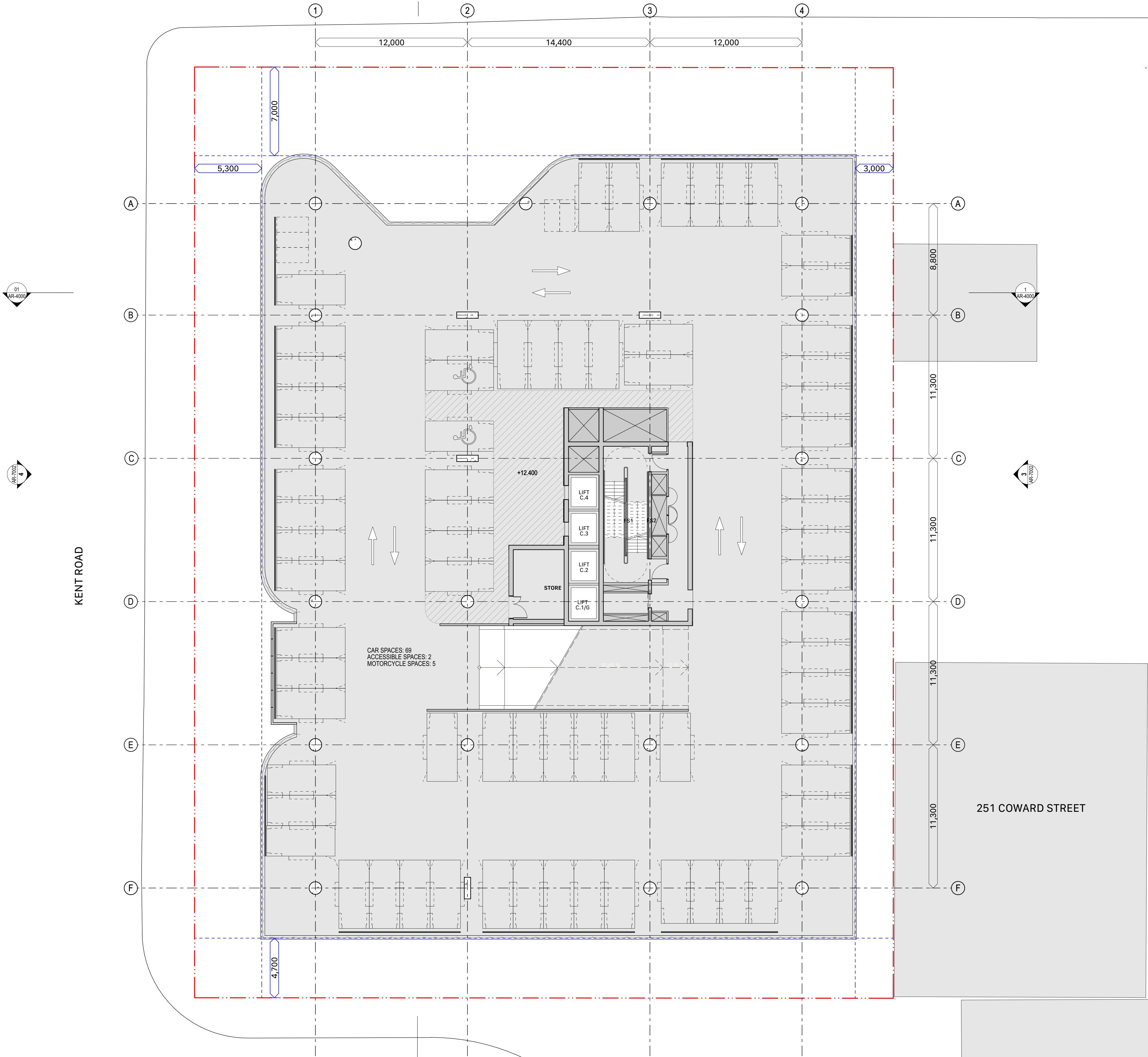


General notes

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- All levels relative to 'Australian Height Datum'.
- Do not scale drawings.
- Use figured dimensions only.

Legend

- BOUNDARY
- SETBACKS



Rev	Date	Description	By	Chk
-----	------	-------------	----	-----

Coward St Mascot
253 Coward Street
Mascot NSW 2020

GA Floor Plans 1:150 **Scale**
Level 02 Floor Plan - Carpark 1:150 @ A1

Project Code **First Issued**
TPM 18/7/2023

Sheet No. **Rev**
01



- General notes**
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 - Do not scale drawings.
 - Use figured dimensions only.

Legend

- **BOUNDARY**
- **SETBACKS**

01
AR-4000

AR-7002
4

KENT ROAD

A

B

C

D

E

F

12,000

14,400

12,000

7,000

5,300

3,000

11,300

11,300

3
AR-7002

+15.400

LIFT
C.4

LIFT
C.3

LIFT
C.2

LIFT
C.1/G

STORE

CAR SPACES: 76
MOTORCYCLE SPACES: 5

251 COWARD STREET

01	18/7/2023	For Approval	AR
Rev	Date	Description	By Chk

Coward St Mascot
253 Coward Street
Mascot NSW 2020

GA Floor Plans 1:150 **Scale**
Level Q3 Floor Plan - Carpark 1:150 @ A1

Project Code **First Issued**
TPM 18/7/2023

Sheet No. **Rev**
01



- General notes**
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 - Do not scale drawings.
 - Use figured dimensions only.

Legend

- BOUNDARY
- SETBACKS

01
AR-4000

AR-7002
4

1
AR-4000

3
AR-7002

A

B

C

D

E

F

A

C

D

+19.200

251 COWARD STREET



- General notes**
- All dimensions and existing conditions shall be checked and verified by the contractor before proceeding with the work.
 - All levels relative to 'Australian Height Datum'.
 - Do not scale drawings.
 - Use figured dimensions only.

Legend

- BOUNDARY
- SETBACKS

01
AR-4000

AR-7002
4

KENT ROAD

A

B

C

D

E

F

12,000

14,400

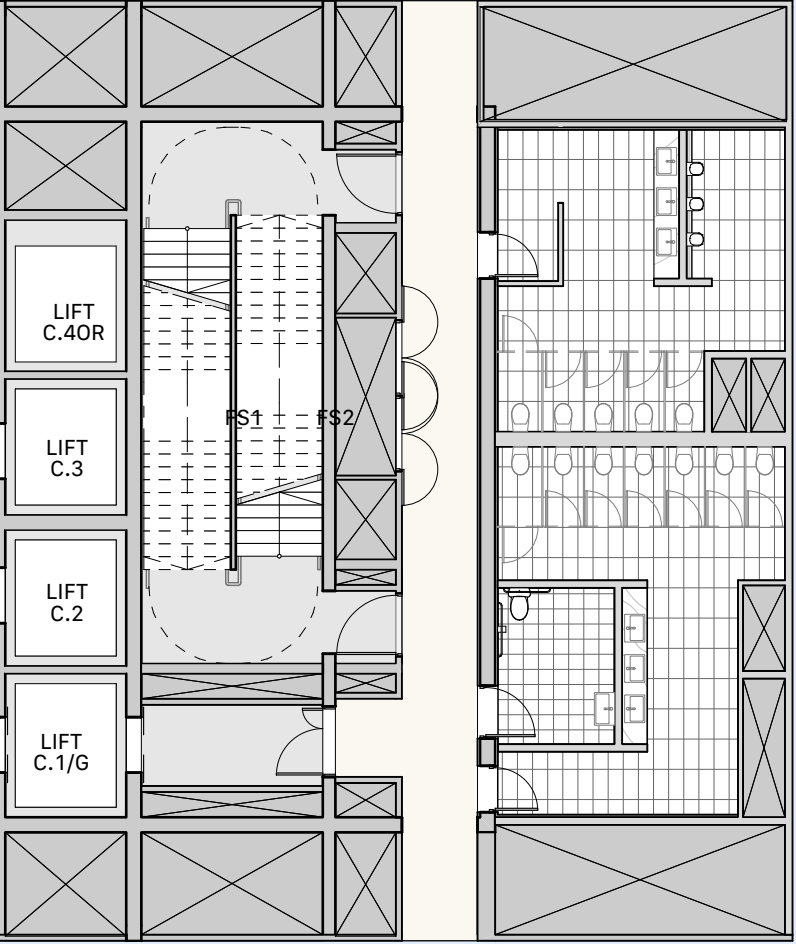
12,000

7,000

5,300

3,000

+34.400



A

11,300

C

11,300

D

1
AR-4000

3
AR-7002

251 COWARD STREET

01	18/7/2023	For Approval	AR	
Rev	Date	Description	By	Chk

Coward St Mascot
 253 Coward Street
 Mascot NSW 2020

GA Floor Plans 1:150
 Level 05-08 Floor Plan - Typical
 Commercial

Scale
 1:150 @ A1

Project Code
 TPM

First Issued
 18/7/2023

Sheet No.

Rev
 01



- General notes**
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Legend

- BOUNDARY
- SETBACKS

01
AR-4000

AR-7002
4

KENT ROAD

A

B

C

D

E

F

12,000

14,400

12,000

7,000

5,300

3,000

PLANT

+42.300

LIFT
C.3 OR

LIFT
C.2 OR

LIFT
C.1/G

AWNING LINE ABOVE

AWC

PLANT

A

C

D

E

F

11,300

11,300

1
AR-4000

3
AR-7002

251 COWARD STREET

Rev	Date	Description	By	Chk
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Coward St Mascot
253 Coward Street
Mascot NSW 2020

GA Floor Plans 1:150 **Scale**
Level 10 Floor Plan - Plant/Terrace 1:150 @ A1

Project Code **First Issued**
TPM 18/7/2023

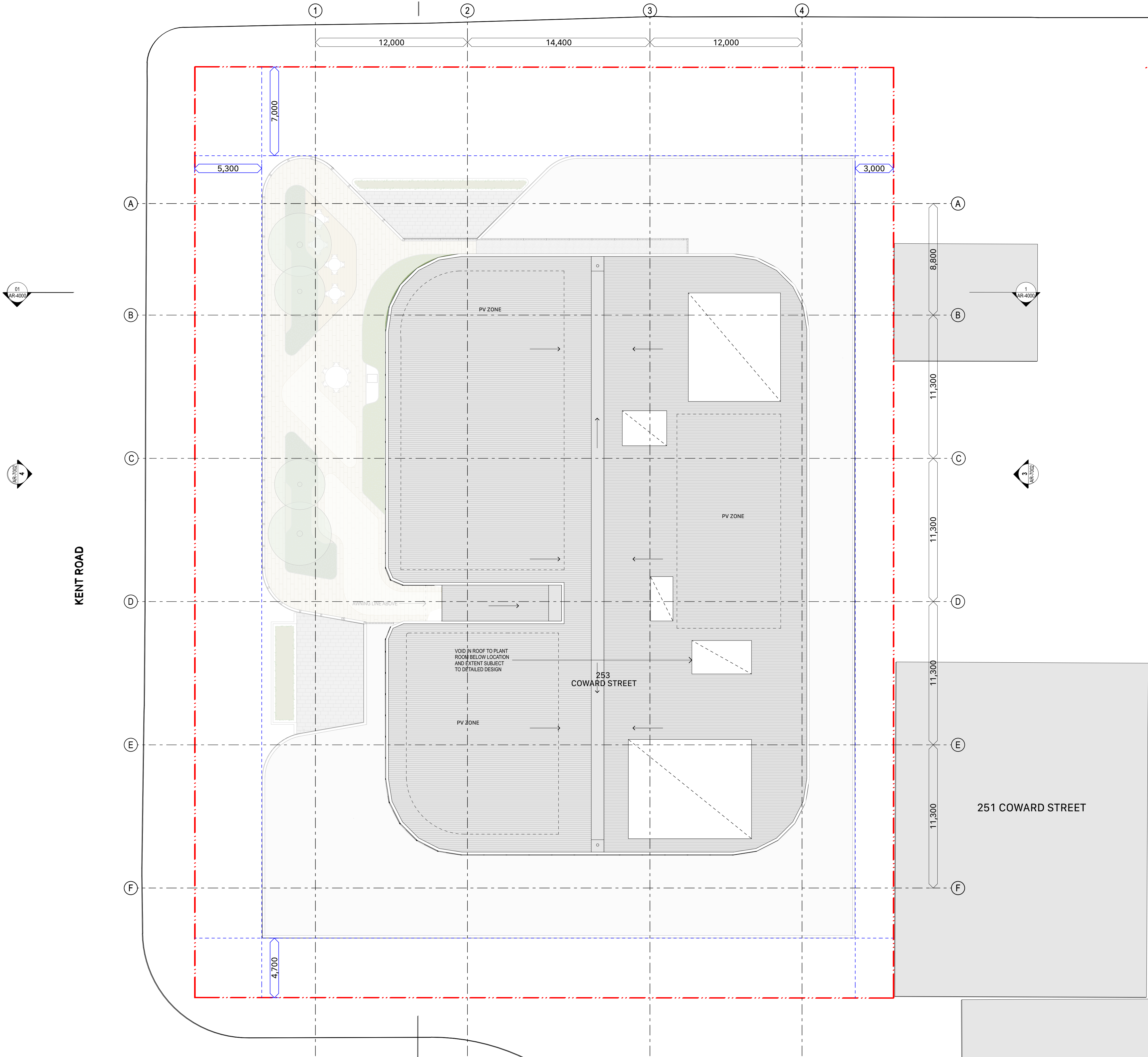
Sheet No. **Rev**
01



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Legend

--- BOUNDARY
--- SETBACKS

Facade Descriptions
See 9001 Digital Sample Board for colours

FT-1 Commercial Glazing - Typical
DGU with profiled aluminium spandrel. Nom. 1800mm wide panels

FT-1a Commercial Glazing - Solid
To match Commercial Glazing - Typical with solid aluminium panel instead of DGU. Widths vary.

FT-2 Terrace Glazing
DGU with aluminium grille over. Nom. 1800mm wide panels

FT-3 Terrace Planters
Powdercoated aluminium clad

FT-4 Carpark
Mesh screening system. Approx 50% transparent.

FT-4a Lobby Entry Wall
Powdercoated aluminium cladding

FT-5 West Terrace
Perforated metal panel. Approx 50% transparent.

FT-6a Plant - Louvre
Powdercoated proprietary aluminium Louvre system.

FT-6b Plant - Solid
Powdercoated panelised aluminium cladding.

FT-7 Retail Shopfront
Shopfront glazing with powdercoated aluminium grille over.

FT-8 Lobby Glazing
Commercial glazing system

FT-9 Podium - Brick
Brick

FT-10 Podium - Aluminium
Powdercoated Aluminium

FT-11 Bike Store Enclosure
Powdercoated Louvre

RF-1 Roof Terrace
Concrete roof with membrane and falls. Pavers on chairs over where shown.

RF-2 Roof - Plant
Lightweight Metal Deck roof with profiled metal sheeting commercial profile.

FC-1 Fence
Chainlink

AW-1 Awnings
Painted or Powdercoated panelised cladding to soffit.

01	18/7/2023	For Approval	AR
Rev	Date	Description	By
			Chk

Coward St Mascot
253 Coward Street
Mascot NSW 2020

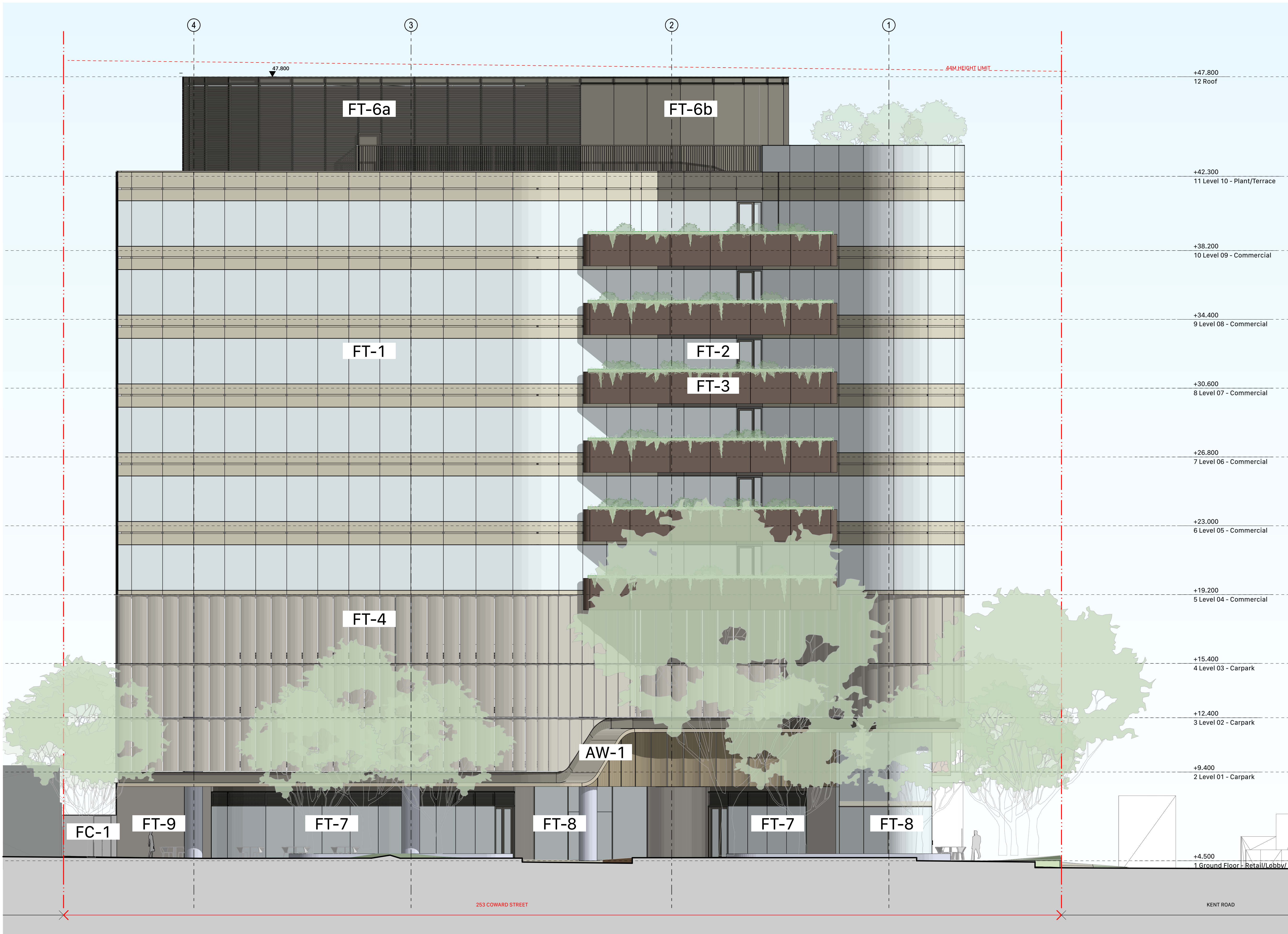
1:100
North Elevation

Scale
1:100 @ A1

Project Code
TPM

First Issued
18/7/2023

Sheet No.
01



1 ELEVATION North Elevation
1:100

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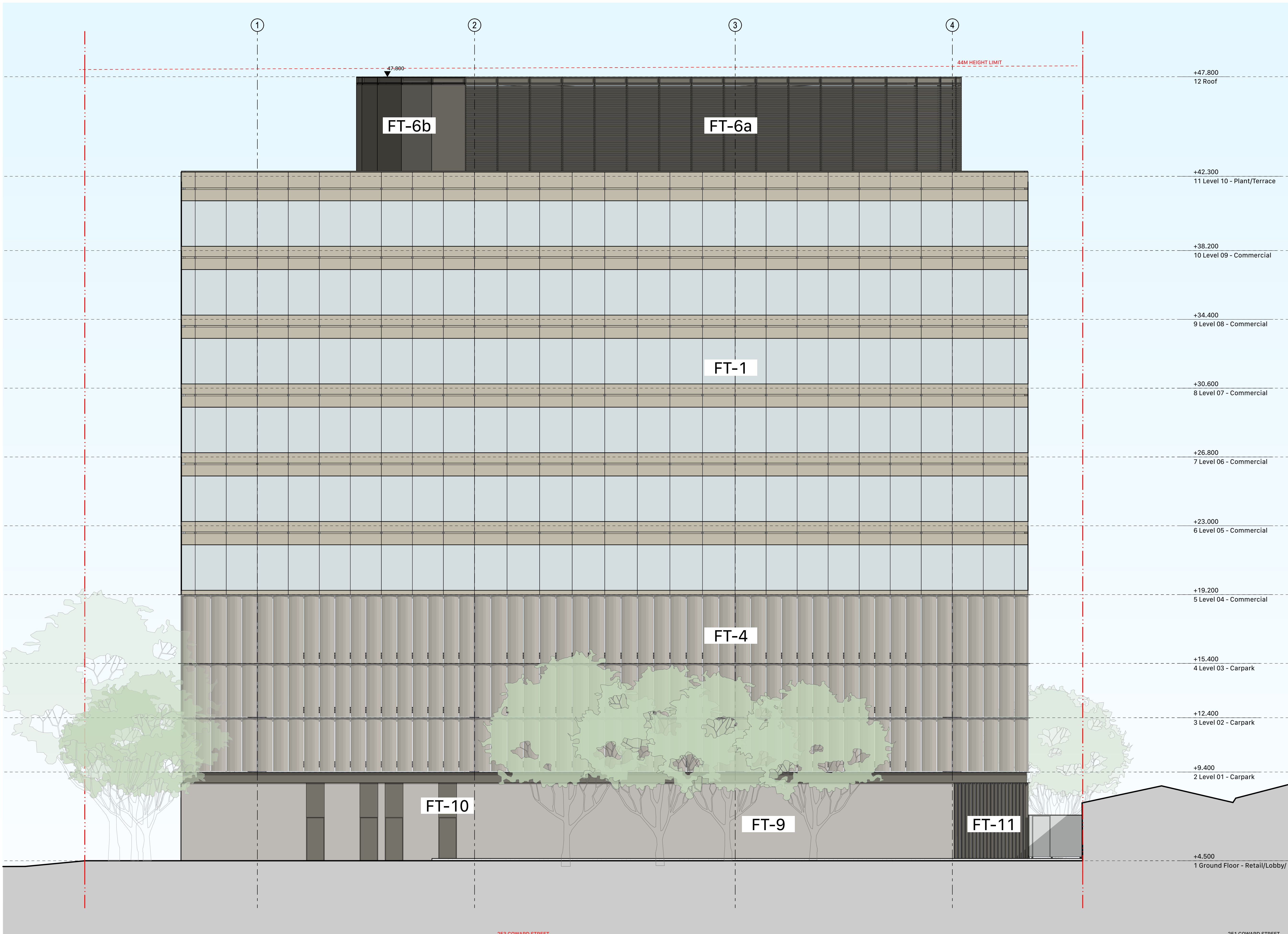
01	18/7/2023	For Approval	AR
Rev	Date	Description	By Chk

Coward St Mascot
253 Coward Street
Mascot NSW 2020

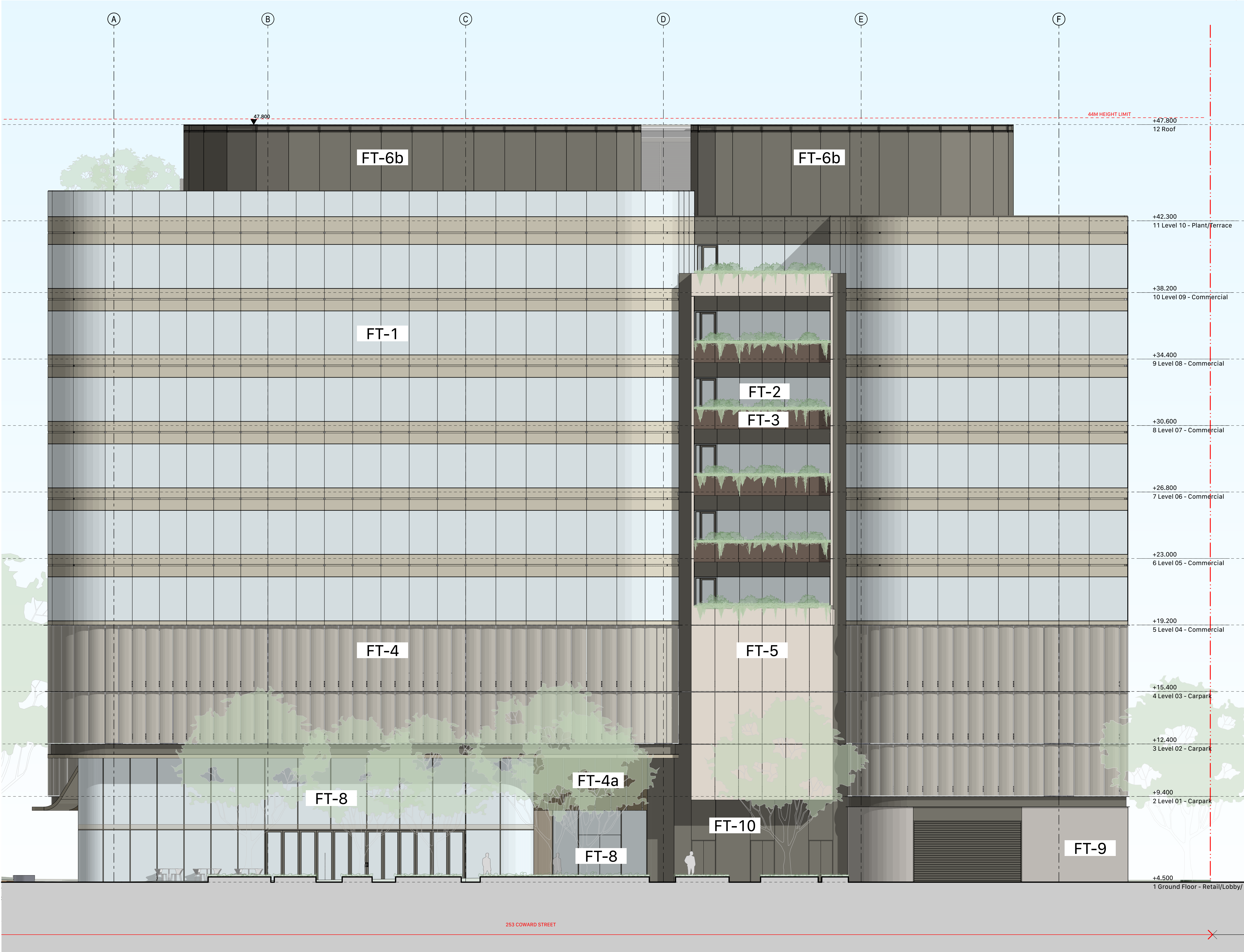
1:100 South Elevation
Scale
1:100 @ A1

Project Code TPM
First Issued 18/7/2023

Sheet No.
Rev
01



1 ELEVATION South Elevation
1:100



fcstudio
formerly fjmstudio

0 1 2 5m

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01 18/7/2023 For Approval AR

Rev Date Description By Chk

Coward St Mascot
253 Coward Street
Mascot NSW 2020

1:100
West Elevation

Scale
1:100 @ A1

Project Code
TPM

First Issued
18/7/2023

Sheet No.
01

Rev
01

1 ELEVATION West Elevation
1:100